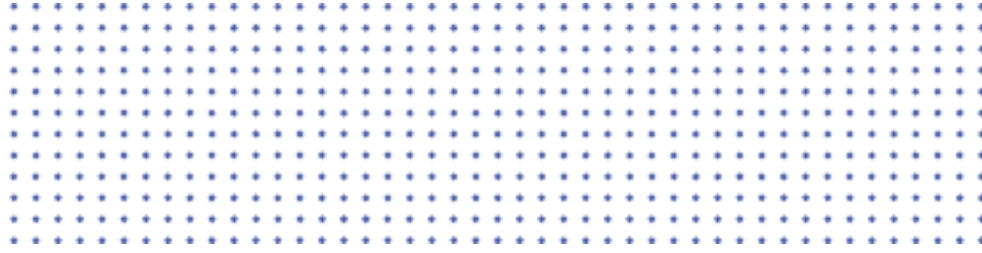


# Burlington County Land Development Review Resolution



Board of County Commissioners  
Burlington County Planning Board  
Adopted April 2024

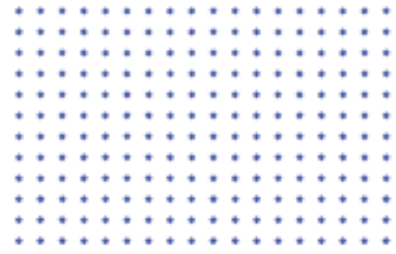




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# 01 TITLE, PURPOSE & ADMINISTRATION



## 1.01 Title

This document shall be known and cited as the Burlington County Land Development Review Resolution (LDRR).

## 1.02 Application; Effective Date

This Resolution shall become effective upon the approval of the Burlington County Board of County Commissioners, the Pinelands Commission, and of any other governmental agency having the right of review over it. This Resolution shall apply to all land development applications filed after the date this Resolution has received all required approvals.

## 1.03 Repeal of Prior Resolutions

All prior Burlington County Land Development Review Resolutions, and parts thereof, are hereby repealed and declared to be null and void.

## 1.04 Purpose

This Resolution provides the standards and procedures for the Burlington County Planning Board (BCPB) review and approval of land developments within Burlington County.

## 1.05 Goals

By adoption of this Resolution the Burlington County Board of County Commissioners seeks to provide standards for the safety of the travelling public and to provide adequate drainage on and along Burlington County roads and to ensure that land development throughout Burlington County proceeds in accordance with the County master plans and other adopted county plans and with the goals and policies of the Burlington County Board of County Commissioners and the Burlington County Planning Board.

## 1.06 Authority

Adoption of this Resolution is authorized by the County Planning Act, N.J.S.A. 40:27-1, et seq. In the event that any portion of this Resolution is held to be invalid or unconstitutional by a court of competent jurisdiction, such determination shall not affect the validity of the remainder of the Resolution.

**1.07 Interpretation Principles**

- A. The words "shall" and "must" are mandatory, not discretionary.
- B. The word "may" is discretionary.
- C. The word "Commissioners" means the Burlington County Board of County Commissioners.
- D. The word "Board" means the Burlington County Planning Board.
- E. The phrase "Review Committee" means the Burlington County Land Development Review Committee.
- F. The abbreviation "LDRR" means the Burlington County Land Development Review Resolution (this document).
- G. This Resolution shall be liberally construed in accordance with the rights, power and authority conferred upon the Board of County Commissioners and County Planning Board by New Jersey law and the purposes and goals expressed herein.

**1.08 Limitation on Authority and Jurisdiction**

Approval by the Board or the Review Committee of any application for development shall not constitute, nor be deemed to constitute, approval required from any other governmental agency which may have the power, right or authority to review or approve the land development application. Moreover, approval of an application by the Board or the Review Committee shall not constitute, nor be deemed to be a commitment, by the County Commissioners to budget for or expend any monies for the construction or improvement of county roads, traffic-control devices or drainage facilities at, near or adjacent to the site of an approved development. In addition, neither the Board nor the Review Committee has the authority to approve any change in alignment of a county road.

**1.09 Administration**

The Board shall administer the provisions of this Resolution, in accordance with the procedures set forth herein.

**1.10 Planning Board Membership**

- A. The Burlington County Planning Board shall consist of seven (7) members as follows:
  - One (1) Director of the Board of County Commissioners;
  - One (1) Member of the Board of County Commissioners appointed by the Director;
  - One (1) County Engineer; and,
  - Four (4) Citizen residents of Burlington County appointed by the Board of County Commissioners, who shall not hold any other county office.

- B.** The Assistant County Engineer shall serve as alternate to the County Engineer on the Board and any committee of the Board.
- C.** With the approval of a majority, the Director of the Board of County Commissioners may appoint a member of the Board of County Commissioners to serve as alternate to the two (2) County Commissioners members.
- D.** With the approval of a majority, the Director of the Board of County Commissioners may appoint two (2) alternate citizen members, to participate in the Planning Board proceedings in rotation during the absence or disqualification of any citizen member. The alternates shall be designated as Citizen Alternate No. 1 and Citizen Alternate No. 2.

**1.11 Term of Membership**

Citizen members, including citizen member alternates, shall be appointed for a three-year (3) term. The Director of the Board of County Commissioners, the Commissioner member, and the Commissioner alternate member appointed to the Planning Board shall sit for one-year terms for the calendar year of appointment.

**1.12**

Upon the death or resignation of a citizen member or citizen alternate member, the County Commissioners shall appoint a replacement to serve the unexpired term of the member. In the event a vacancy occurs in the County Commissioners members of the Board, the Director of the Board of County Commissioners shall appoint a replacement from the County Commissioners for the remainder of the year.

**1.13**

An alternate member sitting in the absence of a member shall be entitled to sit with and participate on the Board as a member in any hearing before the Board. Any alternate member who has attended the full hearing or hearings may participate in the Board’s decision during the absence or disqualification of any regular member for whom they are an alternate.

**1.14 Planning Board Conduct**

- A.** The Board shall meet not less than one (1) day per month. The day and time shall be specified annually by the Board, and notice thereof shall be posted and advertised in accordance with law.
- B.** At the first meeting of the year the Board shall appoint a Chairperson, Deputy Chairperson and Secretary. The Chairperson, or in his/her absence, the Deputy, shall preside over each meeting.
- C.** The Chairperson and Deputy Chairperson shall have the authority to schedule a special meeting of the Board. All action which may be taken at a regularly scheduled meeting of the Board may be taken at a special meeting. Notice to the public that a special meeting has been scheduled shall be published in accordance with law.
- D.** All meetings shall be held in compliance with the Open Public Meetings Act (N.J.S.A. 10:4-6 et seq). A simple majority of the Board shall be required to convene and to conduct a meeting. A majority of the members present shall be necessary to take any action.

## 1.15 Committees

There shall be the following Committees of the Burlington County Planning Board:

- A. The Land Development Review Committee, which shall consist of the citizen members of the Board and the County Engineer. The Review Committee shall be authorized to review and approve, disapprove or conditionally approve land development applications filed with the Board in accordance with the terms of this Resolution and the County Planning Act. The Committee shall meet at the days and times determined by the Board, and notice thereof shall be published in accordance with law.
- B. The Stormwater Management Committee, which shall consist of the County Engineer, one (1) Board citizen member and County employees as appointed by the Commissioners upon recommendation of the Board. The Stormwater Management Committee shall be authorized to review and provide advice to the Board on municipal stormwater management plans and ordinances. The Stormwater Management Committee shall meet as the need for its council arises. Notices of all meetings shall be published in accordance with law.
- C. Such other Committees as the Board may create to perform such functions as may be deemed necessary to accomplish the purposes of the Board. No committee may be created except in accordance with the following:
  - 1. A majority of the full Board shall be required to authorize the creation of a new committee;
  - 2. Each committee shall consist of not less than three (3) members, at least one (1) of whom shall be a Board member.
  - 3. If the Board wishes to appoint a person to a committee who is not a Board member or a County employee, it shall so advise the Commissioners. The Commissioners shall have the right to approve or deny the Board's request.
  - 4. The Resolution by which the Board creates a committee shall specify the duties and goals of the committee and the term during which the committee shall continue. No committee created pursuant to this paragraph shall continue for more than one (1) year without the approval of a majority of the Board members and the Commissioners.

## 1.16 Organization and Conduct

The committees described in paragraph 1.15 shall follow the following procedures:

- A. At the first meeting of the year the Planning Board shall appoint a Chairperson and Deputy Chairperson of each committee. The Chairperson, or in his/her absence, the Deputy, shall preside over each committee meeting.
- B. All committee meetings shall be held in compliance with the Open Public Meetings Act. A simple majority of the committee's members shall be required for the committee to conduct a meeting. A majority of the members present shall be necessary to take any action.

- C. Upon the death or resignation of a non-Planning Board member or a non-County employee member of a committee, the Board shall recommend to the Commissioners such person who would be suitable to fill the vacancy. In the event that a vacancy occurs in the Board members of a committee, another Board member or new Board member appointed to fill the vacancy may be appointed to the committee.

### **1.17 Administrative Policies and Procedures**

The Board shall have the power to adopt, by motion or resolution, policies and procedures consistent with this Resolution to carry out its duties authorized herein. The Board shall not have the power, however, to adopt any policy or procedure which is inconsistent with any provision of this Resolution or any other resolution of the County Commissioners.

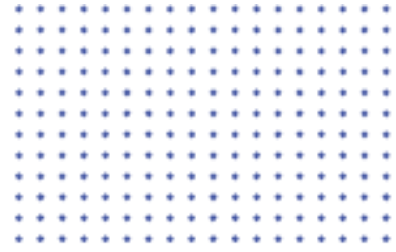
### **1.18 Waiver**

The Board and Review Committee shall have the authority to waive or adjust requirements specified herein to alleviate hardship which it finds would result from strict enforcement of any of the requirements set forth herein. Prior to waiving any requirements, the Board or Review Committee shall make fact findings, which include the finding that strict application of the requirements herein would impose an undue hardship upon the applicant. The Board may delegate some waiver authority to the Planning Board Engineer for chapters 6,7, and 8 of this resolution.

### **1.19 Pinelands Area**

Notwithstanding the above-mentioned waiver procedures, no such waiver shall be granted which applies to Pinelands Commission application requirements or Pinelands development standards, nor shall any waiver be granted which may affect the County's compliance with the standards of the Pinelands Comprehensive Management Plan.

# 02 JURISDICTION



## 2.01 Site Plans

The following site plans for land developments are subject to Planning Board review:

- A.** Developments, other than single-family residential use, which are along a county road and:
  - i. propose a new or change in commercial use; or,
  - ii. propose a new or change in industrial use; or,
  - iii. propose a new or change in multi-family residential structure containing five (5) or more units; or,
  - iv. propose off-street parking or the creation of an impervious surface in excess of 2,000 square feet;
- B.** Developments, other than single-family residential use, which are not along a county road and include one (1) acre or more of new impervious surface.
- C.** Any development which will cause stormwater to drain directly or indirectly to a county road or through any drainage-way, structure, culvert, pipe, or facility that the County constructed, is responsible for proper functioning, or is responsible to maintain.

## 2.02 Exempt Site Plans

The following site plans for land developments are exempt from Planning Board review:

- A.** development of an individual single-family residence;
- B.** development of any use not along a county road which include less than one (1) acre of new impervious surface;
- C.** development of any use not along a county road which will not cause stormwater to drain directly or indirectly to a county road or through any drainage-way, structure, culvert, pipe, or facility that the County constructed, is responsible for proper functioning, or is responsible to maintain.

## 2.03 Subdivisions

All subdivisions of land are subject to Board review, except those which are categorized as exempt. The following subdivisions of land constitute subdivisions exempt from Board review:

- A. Divisions of land found by the Board or Review Committee to be for agricultural purposes where all resulting parcels are five (5) acres or larger in size and no new street is created. A subdivision “for agricultural purposes” shall be established where the owner and all purchasers or contract purchasers of proposed new lots swear or affirm by affidavit or certification that the use of the subject lots will be limited to agricultural and related pursuits for not less than two (2) years, including but not limited to crop raising, stock raising, dairy farming and horse farming, and that neither the purchasers, contract purchasers nor the owner-applicant intends to construct any new structures on the property which is not directly related to an agricultural activity. Subdivisions of agricultural land resulting in lots on which the developer or a purchaser proposes to construct a single-family residence shall not constitute a subdivision for agricultural purposes.
- B. Divisions of property by testamentary or intestate provisions where no new street is created;
- C. Divisions of property upon Court order, including but not limited to, judgments of foreclosure where no new street is created;
- D. Consolidations of existing lots by deed or other recorded instrument and no new street is created;
- E. Conveyance of one (1) or more adjoining lots, tracts or parcels of land, owned by the same person or persons, all of which are found and certified by the secretary of the Municipal Planning Board in which the property is located as conforming with the requirements of municipal development regulations; are shown as designated as separate lots, tracts or parcels on the tax map or atlas of the municipality, and no new street is created.

## 2.04 Procedure to Obtain Exemption Letter

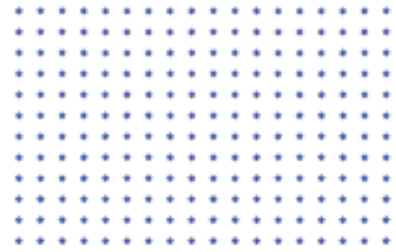
- A. If a developer of land believes that they are exempt from Board review, the developer shall complete an application form (found online at <https://www.co.burlington.nj.us/292/Applications-Checklists>), provide a cover letter stating the reason(s) for exemption, and provide a copy of the plans for exemption review.
- B. The Planning Board Engineer shall review the application form and any supplemental information and materials provided and shall determine whether the application is exempt from review. If the Planning Board Engineer finds the development is exempt, they shall issue an Exemption Letter to the developer and so advise the appropriate municipal authority. If the Planning Board Engineer determines that the development is not exempt from Board review, written notice shall be transmitted to the developer and the appropriate municipal authority, and the developer shall comply with the procedures set forth herein for filing a site plan application or subdivision application. The Planning Board Engineer shall issue an Exemption Letter or notify the developer that a development is not exempt from Board review within 30 days of receipt of the completed application.

- C. In the event that the developer wishes to appeal denial of an Exemption Letter, they shall file an appeal in the Board office within ten (10) days of receipt of notification that the development is not exempt from Board review. In said writing the developer shall cite the reasons for his/her belief that the development is exempt from Board review.
- D. The matter shall be scheduled for the Review Committee's consideration at the next regularly scheduled meeting unless the developer's appeal is filed less than three (3) working days prior to the next meeting. In that event, the appeal shall be considered at the following Review Committee meeting.
- E. Any further appeal shall be in accordance with the provisions set forth in Chapter 10.

## **2.05 Waiver of Exemption**

Nothing herein shall prevent a developer who believes that his/her application is exempt from County review from waiving his/her right to so claim. However, if a developer seeks Board review of a land development; the developer shall be deemed to have waived his/her right to claim that the development is exempt, and the developer shall comply with any conditions attached to Board approval.

# 03 DEFINITIONS



*The following definitions apply to the construction and interpretation of the Burlington County Land Development Review Resolution. The figures referenced herein may be found in Chapter 17.*

## **ACCELERATION LANE**

An auxiliary speed-change lane primarily for the acceleration of vehicles entering the through-traffic lanes. “Acceleration lane” shall be broadly interpreted to mean the added pavement joining the traveled way of the highway with that of the intersecting road or driveway. (See Figure 1.)

## **ACCESS PERMIT**

The written document issued by the Burlington County Engineering Department to allow one (1) or more driveways to connect with a county road, or to allow the construction of sidewalk, curbing, or other work within the limits of a County right-of-way.

## **ADMINISTRATIVE OFFICER**

The clerk of a municipality unless a different municipal official or officials is/are designated by ordinance or statute.

## **ADVERSE DRAINAGE CONDITIONS**

The absence or inadequacy of drainage facilities or drainage easements in a drainageway leading to, along, through or under a county road or county drainage structure, either within or exterior to a proposed land development, including facilities of such location, size, design, construction or condition that storm drainage cannot be adequately provided for, that either flooding, silting, undermining or other damaging effects to a county road or drainage structure will result, or threaten damage to property as a result of storm drainage from, along or through a county road or drainage structure.

## **AGRICULTURAL USE**

Land shall be deemed to be agricultural use when devoted to the production of plants and animals useful to man, including, but not limited to: forages and sod crops; grain and feed crops; dairy animals and dairy products; poultry and poultry products; livestock, including cattle, sheep, swine, horses, ponies, mules or goats, including the breeding and grazing of any or all of such animals; bees and apiary products; fur animals; trees and forest products, or when devoted to and meeting the requirements and qualifications for payments or other compensation pursuant to a soil conservation program under an agreement with an

agency of the Federal Government. Excluded from "Agricultural Use" are activities including the erection, alteration, enlargement, occupancy or use of any building designed for or suitable as a residential, commercial or industrial use.

**APPLICANT**

The owner, legal or equitable, or any other person acting on behalf of the owner who initiates proceedings for land development review pursuant to this Resolution.

**APPLICATION FOR DEVELOPMENT**

The completed application form and submission of all documents and exhibits required to be submitted pursuant to this Resolution for review of a subdivision plat, site plan, planned development, or for the issuance of an Exemption Certificate.

**BENCHMARK**

A marked point of known elevation, usually on National Geodetic Survey (NGS) datum or referenced to NGS datum. The benchmark must be an existing permanent point or marker that will not be disturbed during construction. The benchmark must be located in the County right-of-way along the site frontage, or within 200 feet of the frontage. Acceptable benchmarks are concrete monuments, NGS monuments, PK in road, square cut in curb, headwall, or other permanent fixture.

**BERM**

A raised earthen barrier to a specified height above curblines.

**BOARD OR COUNTY PLANNING BOARD**

The Burlington County Planning Board.

**BOX CULVERT**

A rectangular closed conduit consisting of a deck, walls, or piers used to conduct water from one (1) point to another, constructed in accordance with plans approved by the County Engineer.

**BRIDGE**

A structure forming an open conduit, including supports, erected over a depression or an obstruction such as a water course, highway or railway, and having a passageway for carrying vehicular or pedestrian movement.

**BUILDING**

A combination of materials forming a construction adapted to permanent, temporary, or continuous occupancy and having a roof.

**BUILDING LOT**

A parcel of land conforming in dimension to the appropriate local municipal zoning regulations.

## **BYPASS ROAD, COUNTY**

Roads within the jurisdiction of the Burlington County Board of County Commissioners and designated in the County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>) as bypass roadways and such other roadways so designated by the Burlington County Board of County Commissioners, which roads have been designed and built to facilitate movement of motor vehicle traffic around traffic-congested areas through the limitation of access, intersecting roads, traffic signalization and other traffic movement interruptions. Generally, access to such roadways and development of new cross streets will be limited to effectuate and facilitate traffic flow for the safety and convenience of the travelling public. County bypass roads include but are not limited to the Burlington, Marlton and Mount Holly bypasses.

## **CARTWAY**

The existing actual road surface area (paved and/or unpaved).

## **CENTERLINE OF RIGHT-OF-WAY**

A line which is located in the exact center of the original right-of-way as laid out by road return or as subsequently relocated by the Burlington County Board of County Commissioners. This may or may not constitute the exact center of existing paved cartway.

## **CIRCULATION**

Systems, structures, and physical improvements for the movement of people, goods, water, air, sewage or power by such means as streets, highways, railways, waterways, towers, airways, pipes and conduits, and the handling of people and goods by such means as terminals, stations, warehouses, and other storage buildings or trans-shipment points.

## **COMMERCIAL USE**

Use of property for the sale, exchange or trade of goods or services, whether or not for profit.

## **COMPLETE APPLICATION**

An application for approval of a land development by the Burlington County Planning Board which includes a properly completed application form and all elements required by this Resolution to be filed for review.

## **CONSTRUCTION PERMIT**

A permit obtained from the appropriate municipal construction official before any building or structure may be erected, altered or occupied or any change in occupancy commenced on any land within the municipality.

## **CONTROL OF ACCESS**

The right, power and authority of the Burlington County Board of County Commissioners, as delegated to the Planning Board pursuant hereto, to control, restrict, prohibit and condition the access to county roads by persons utilizing property adjacent thereto.

**CORNER CLEARANCE (C)**

The distance from a projection of right-of-way lines, perpendicular or radial, to the curblines and thence along the curblines to the nearest edge of a proposed curblines opening. (See Figure 5.)

**COUNTY PLANNING BOARD**

The Burlington County Planning Board.

**COUNTY ROAD OR HIGHWAY**

The existing or proposed right-of-way of an existing or proposed road or highway under the legal jurisdiction of the Burlington County Board of County Commissioners as shown on the County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>) or Official County Map.

**CROSS-SECTION**

A diagram of the vertical cut through a road showing the median pavement, cross-slope, number of traffic-bearing lanes, sidewalks, utility lines, stormwater pipes, curbs, ditches and roadsides.

**CULVERT**

A closed conduit not incorporated in a closed drainage system used to conduct water from one (1) point to another, normally prefabricated.

**CURB CUT**

An opening along the curblines at which point vehicles may enter or leave the roadway.

**CURB RETURN**

The curbing along the curved or flared radius of a driveway opening which extends from a point tangent to the adjacent travelled lane, paved shoulder or deceleration lane (whichever is closest to the land development) to a point tangent to the driveway lane.

**CURBLINE (CURB)**

The line which is the outer edge of the pavement or shoulder of a road. A curblines may also be the gutter line. (See Figure 1.)

**CURBLINE OPENING (C.O.)**

The overall opening dimension at the curblines, whether curbing exists or not, measured from the extreme outer edges of the radii. (See Figure 5.)

**DAYS**

Means calendar days.

**DECELERATION LANE**

An auxiliary speed change lane primarily for the deceleration of vehicles leaving the through-traffic lanes. "Deceleration lane" shall be broadly defined and interpreted to mean the added pavement joining the traveled way of the highway with that of the intersecting road or driveway. This lane must be constructed in accordance with Burlington County Road design standards, subject to modification by the County Engineer where those standards conflict with special site conditions. (See Figure 1.)

**DENSITY**

Means the number of dwelling units per gross area of land to be developed as permitted by the municipal land use ordinance in effect.

**DETENTION BASIN**

An enclosed basin or depression formed by the construction of a barrier or dam designed and built for the temporary storage of stormwater runoff and gradual discharge. Includes underground detention basins.

**DEVELOPER**

Any individual, firm, association, syndicate, co-partnership, corporation, trust, governmental agency or other entity required by this Resolution to submit a land development proposal to the Burlington County Planning Board.

**DEVELOPMENT**

The division of land into two (2) or more parcels, the construction, reconstruction, conversion, structural alteration, relocation or enlargement of any building or other structure, or of any mining excavation or landfill, and any use or change in use of any building, other structure or the extension of use of land requiring review and approval pursuant to this Resolution.

**DEVELOPMENT REGULATION**

Any provision of this Resolution.

**DRAINAGE**

The removal of surface water or groundwater from land by drains, grading or other means, including control of runoff during and after construction or development to minimize erosion and sedimentation, to assure the adequacy of existing and proposed culverts and bridges, to induce water recharge into the ground where practical, to lessen nonpoint pollution, to maintain the integrity of stream channels for their biological functions as well as for drainage, and the means necessary for water supply preservation or prevention or alleviation of flooding.

**DRAINAGE BASIN**

All that area of land that contributes surface water runoff to any given point along a brook, stream, watercourse, drainage facility or easement.

**DRAINAGE DITCH**

A man-made trench or swale used to carry storm or subsurface water.

**DRAINAGE PLAN**

A plan of the existing or proposed stormwater management system for land development.

**DRAINAGE RIGHT-OF-WAY OR DRAINAGE EASEMENT**

The land or assignable rights and restrictions to the land required for the installation or maintenance of stormwater sewers, culverts, drainage ditches or swales, or that which is required along a natural stream or watercourse for preserving the channel and providing for the flow therein in order to safeguard the public against flood damage, sedimentation or erosion, or for similar or related storm drainage purposes, including requiring assignable rights and restrictions in floodplain lands from upstream owners in order to facilitate the impoundment of water in the floodplain.

**DRIVEWAY**

Paved or unpaved area for access by vehicle from a street, road or alley to the interior of a lot or parcel of land, a building or other structure or facility.

**DRIVEWAY ANGLE (A)**

The angle of 90 degrees or less between the driveway centerline and curblines. (See Figure 5.)

**DRIVEWAY SEPARATION (D)**

The distance measured along the curblines between the tangent projections of the inside edges of two (2) adjacent driveways to the same frontage. (See Figure 5.)

**DRIVEWAY WIDTH (W)**

The narrowest width of a driveway within the sidewalk area, measured between driveway edges. (See Figure 5.)

**EASEMENT FOR COUNTY ROAD PURPOSES**

A right to property granted or dedicated to the County of Burlington for the purpose of installing utilities, or the construction, reconstruction, widening or improving of a county road, including the repair, maintenance, and alteration of drainage facilities, traffic control devices and other facilities relating to the safety, convenience and carrying capacity of a county road.

**EDGE CLEARANCE (P)**

The distance measured along the curblines from the lateral property line extended to the beginning of the driveway.

**EROSION**

The detachment and movement of soil or rock fragments by water, wind, ice, and gravity.

**EXEMPTION CERTIFICATE**

Certificate issued in accordance with Chapter 2 herein by which Burlington County Planning Board records its finding that a land development is exempt from Burlington County Planning Board review.

**EXTENDED PROPERTY LINE (E.P.L.)**

A line, radial or perpendicular to the highway curblines, at each end of the frontage, extending from the right-of-way line to the curblines. (See Figure 5.)

**FARM MARKET**

The sale of fruits, vegetables, plants, flowers, packaged goods or dairy products from or adjacent to permanent structures.

**FINAL MUNICIPAL APPROVAL**

The official action of the municipal board having jurisdiction over a preliminary approved major subdivision or site plan, after all conditions, engineering plans and other requirements have been completed or fulfilled and the improvements required by said municipal planning board have been installed or guarantees properly posted for their completion, or approval conditioned upon the posting of such guarantees.

**FINAL PLAT**

The final map of all or a portion of a land development meeting all of the standards and regulations of this Resolution and meeting all the conditions established by the Burlington County Planning Board in granting preliminary approval. Plats to be filed with the County Clerk must comply with the New Jersey Map Filing Law. (N.J.S.A. 46:23-9.9 et seq.) and the Municipal Land Use Law (N.J.S.A. 40:55D-1 et seq.).

**FLOOD HAZARD AREA**

The area adjacent to streams which is subject to a 100-year hazard as designated by the Flood Emergency Management Administration (FEMA).

**FLOODPLAIN**

The area adjoining a stream, drainage course or body of water which has been or may be covered by flood water.

**FLOODWAY**

The channel of a stream and portions of the floodplain adjoining the channel which are reasonably required to carry and discharge the flood water or flood flow.

**FLOOR AREA RATIO**

The sum of the area of all floors of buildings or structures compared to the total area of the site.

## **FRESHWATER WETLAND**

See “WETLANDS”.

## **FRONTAGE**

The length along the highway right-of-way line of a single property tract between the lateral property lines.

## **GARDEN CENTER**

The wholesale or retail sale of plants, flowers, trees, shrubbery, seasonal produce, gardening equipment and supplies from or adjacent to permanent structures.

## **IMPERVIOUS SURFACE OR AREA**

Any surface area which does not permit fluids to pass through or penetrate.

## **INDUSTRIAL USE**

Use of property for purposes customarily considered of or pertaining to industry, including, but not limited to manufacturing, warehousing, refining, excavating, mining (including the creation of borrow pits) and large-scale operations involving human labor.

## **INTERESTED PARTY**

Any person, whether residing within or without the county, whose right to use, acquire or enjoy property is or may be affected by any action taken pursuant to this Resolution, or whose rights to use, acquire or enjoy property may have been denied, violated or infringed by an action or a failure to act pursuant to this Resolution and the County Planning Enabling Act, N.J.S.A. 40:2-7 1 et seq.

## **JUGHANDLE**

A roadway ramp which curves off from the right lane of the highway to convey traffic across the main highway – usually under traffic signal control – to eliminate left and u turns from within active traffic lanes and, in addition, to provide greater safety and reduce delays that traditional cross turning usually creates.

## **KEY LOCATION MAP**

A map at a scale of 1 inch = 2,000 feet, used to locate the proposed land development in the surrounding road system. The map should be derived from a USGS quad map, shown on the subdivision or site plan, and be at least 4” X 4” square. The proposed land development must be centrally located on the key map. For small sites in densely populated areas the applicant may also locate the land development on a section of a tax map for clarification.

## **LAND**

Includes improvements and fixtures on, above or below the surface.

## LAND DEVELOPMENT

The following instances are defined as Land Development:

1. Any and all subdivisions of land;
2. Any site plans not involving single family residential dwellings;
3. Any multi-family residential dwellings of five (5) or more units;
4. Any other use of property (i) requiring off-street parking or (ii) proposing new impervious surface of 2,000 square feet or more along a county road; or
5. Any change in contours or grading that would affect county road drainage or drainage facilities as set forth in paragraph 2.01C above.

## LAND DEVELOPMENT APPLICATION

The application made pursuant to this Resolution for approval of a proposed land development.

## LOT

A parcel, tract or area of land established by a plat or otherwise as permitted by law and to be used, developed or built upon as a unit.

## MAINTENANCE GUARANTEE

Security acceptable in form and substance to the Burlington County Planning Board and in an amount recommended by the Burlington County Engineer, but not less than fifteen percent (15%) of the original performance guarantee. The purpose is to assure the maintenance of duly approved improvements installed by the developer, and such security shall be in effect for not less than one (1) year nor more than two (2) years.

## MAJOR SITE PLAN

Means an individual “development,” as well as multiple developments that individually or collectively result in:

1. The disturbance of one (1) or more acres of land; or
2. A net increase of one-quarter (1/4) acre or more of impervious surface.

## MAJOR SUBDIVISION

A subdivision of land resulting in five (5) or more new lots or involves any new street, or an extension of any off-tract improvement.

## MARGINAL ACCESS STREET

An internal street running along the edge of a land development, allowing for several lots to have access to a county road through one (1) access.

**MEDIAN**

A physical barrier within a highway separating opposing ways of traffic.

**MINOR SITE PLAN**

Any site plan not classified herein as a major site plan.

**MINOR SUBDIVISION**

Any subdivision not classified herein as a major subdivision.

**MUNICIPAL APPROVAL AUTHORITY**

Any municipal official, department, agency or other body having the power of approval of land development applications.

**NEW BUILDING LOT**

Any lot being created by a subdivision upon which one (1) or more buildings or structures may be erected by the municipal land use ordinance.

**OFFSITE**

That which is located outside the lot lines of the development.

**OFF-SITE IMPROVEMENTS**

Improvements exterior to the property that is the subject of a development application required to be installed pursuant to County review.

**OFFICIAL COUNTY MAP**

The map, with changes and additions thereto, adopted, established and amended from time to time by resolution of the Burlington County Board of County Commissioners pursuant to N.J.S.A. 40:27-1 et seq. Official County Maps can be viewed on the County website: <http://www.co.burlington.nj.us/397/County-Maps>.

**OVERLAND RELIEF**

A provision in the design of stormwater systems that provides an overland path adequate to safely convey excess stormwater runoff away from a low point without causing local flooding in excess of eight inches (8”), creating an unsafe situation, or causing damage to public or private property.

**PARKING SPACE**

A space or slot provided for vehicle parking in compliance with the applicable municipal specification.

**PERFORMANCE GUARANTEE**

Security in a form specified in Chapter 9 herein and in an amount specified by the Burlington County Engineer, which is to be submitted to ensure that certain improvements be installed before the Burlington County Planning Board grants approval to a land development.

**PERSON**

As used herein, means a natural person and a corporation, partnership, nonprofit organization and other business and public entities.

**PINELANDS DEVELOPMENTS**

The following definitions apply to developments within the Pinelands area of Burlington County as designated in the Pinelands Protection Act, P.L. 1979, c. 111, as amended.

*APPLICATION FOR DEVELOPMENT*

Any application, filed with any permitting agency, for any approval, authorization or permit which is a prerequisite to initiating development in the Pinelands Area, except as provided in Sections 4.13 and 5.16.

*APPROVAL AGENCY OR AUTHORITY*

Any board, body, authority or person within the County with authority to approve or disapprove subdivisions, site plans, or other applications for development approval.

*CERTIFICATE OF COMPLIANCE*

An approval issued by the Commission which is a prerequisite to the commencement of any development in any portion of the Pinelands Area located within the jurisdiction of a municipality with an uncertified master plan or land use ordinance. See N.J.A.C. 7:50-4.11 through 4.27. This document shall be entitled "Certificate of Non-compliance" when the proposed development is not consistent with the requirements of the Comprehensive Management Plan.

*CERTIFICATE OF FILING*

The Certificate issued by the Pinelands Commission which is a prerequisite to the filing of a complete application with any local permitting agency. See N.J.A.C. 7:50-4.34 and 4.82.

*CERTIFIED MUNICIPAL PLAN OR LAND USE ORDINANCE*

Any municipal master plan or land use ordinance certified by the Commission pursuant to N.J.A.C. 7:50-3, Part IV as being in conformance with the minimum standards of the Comprehensive Management Plan.

*COMMISSION*

The Pinelands Commission created pursuant to Section 5 of the Pinelands Protection Act and its employees.

## *COMPREHENSIVE MANAGEMENT PLAN*

The plan adopted by the Commission pursuant to Section 7 of the Pinelands Protection Act, as amended, and referred to N.J.A.C. 7:50-1 et seq.

## *DEVELOPMENT*

The change or enlargement of any use or disturbance of any land, the performance of any building or mining operation, the division of land into two (2) or more parcels, and the creation or termination of rights of access or riparian rights, including, but not limited to:

- a) a change in type of use of a structure or land;
- b) a reconstruction, alteration of the size or material change in the external appearance of a structure or land;
- c) a material increase in the intensity of use of land, such as an increase in the number of businesses, offices or dwelling units in a structure or on land;
- d) commencement of resource extraction or drilling or excavation on a parcel of land;
- e) demolition of a structure or removal of trees;
- f) commencement of forestry activities;
- g) deposit of refuse, solid or liquid waste or fill on a parcel of land;
- h) in connection with the use of land, the making of any material change in noise levels, thermal conditions or emissions of waste material; and
- i) alteration, either physically or chemically, of a shore, bank or flood plain, seacoast, river, stream, lake, pond, wetlands or artificial body of water.

## *MUNICIPALITY*

Any city, borough, town or township wholly or partially located within the Pinelands Area or Pinelands National Reserve.

## *NOTICE OF FILING*

A notice issued by the Pinelands Commission pursuant to N.J.A.C. 7:50-4.34 that a duplicate copy of an application for and individual single-family dwelling has been received.

## *PINELANDS AREA*

That area designated as such by the Pinelands Protection Act.

*PRESERVATION AREA*

That area so designated by the Pinelands Protection Act.

*PROTECTION AREA*

That area within the Pinelands area which is not included in the Preservation area.

*PUBLIC DEVELOPMENT*

Any development proposal made by the County or other public agency in the Pinelands Management Area (see N.J.A.C. 7:50-4.41 through 4.47).

*SUBDIVISION*

The division of a parcel of land into two (2) or more lots, tracts, parcels or other division of land. The following shall not be considered subdivisions within the meaning of the Comprehensive Management Plan if no development occurs or is proposed in connection therewith: (a) divisions of property by testamentary or intestate provisions; (b) divisions of property upon court order, and (c) conveyances so as to combine existing lots by deed or other instrument. The term, “subdivision,” shall also include the term “resubdivision.”

**PLAT**

A map or maps of a subdivision or site plan.

**PLANNING BOARD OR COUNTY PLANNING BOARD**

As used herein, the Burlington County Planning Board.

**PLANNING BOARD ENGINEER**

The person(s) designated by the County Engineer to review applications for development filed with the County Planning Board and to advise the County Planning Board and Land Development Review Committee concerning engineering aspects of pending applications.

**PRELIMINARY PLAN**

The detailed map showing the proposed layout of the land development submitted for tentative approval. Said plan shall contain all elements required by this Resolution and be accompanied by all required information.

**PROPOSED COUNTY ROAD**

A road or highway not owned by the Burlington County Board of County Commissioners, but designated on the County Highway Master Plan or Official Map as a “proposed County Road”, indicating County interest in its potential addition to the county road system. Such designation shall not be deemed nor shall it constitute a commitment of or a declaration by the Board of County Commissioners to acquire any right-of-way.

**PUBLIC AREAS**

Public parks, playgrounds, trails, paths and other recreational areas; other public open spaces; scenic and historic sites, and sites for schools and other public buildings and structures.

**PUBLIC DRAINAGEWAY**

The land reserved or dedicated for the installation of stormwater sewers or drainage ditches, or required along a natural stream or watercourse for preserving the biological as well as drainage function of the channel and providing for the flow of water to safeguard the public against flood damage, sedimentation and erosion and to assure the adequacy of existing and proposed culverts and bridges, to induce water recharge into the ground where practical, and lessen nonpoint pollution.

**QUORUM**

A majority of the full authorized membership.

**RESIDENTIAL CLUSTER**

An area to be developed as a single entity according to a plan containing residential housing units which have a common or public open space as an appurtenance.

**RETENTION BASIN**

A structure designed and constructed for the collection and storage of stormwater runoff to prevent discharge to surface waters and allow percolation into the ground.

**REVERSE FRONTAGE**

Provision in a land development for lots adjacent to a county road to front on a street interior to the development, without direct access to said county road.

**RIGHT-OF-WAY (R.O.W.)**

The total width of property to which the county, state, or municipality is entitled. Where appropriate, right-of-way shall include proposed right-of-way widths or Ultimate Right-of-Way (UROW) widths as shown on the County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>).

**RIGHT-OF-WAY LINE**

The outer edge of roadway or highway property separating the roadway or highway from abutting property.

**ROAD OPENING PERMIT**

Written permission of the Burlington County Right-of-Way Access Department to tear up, excavate, bore, tunnel, drive under, or otherwise impair the surface or subsurface of a county road. When activities or work is proposed within the county roads and right-of-way, application is to be made to the Burlington County Department of Public Works/Land Development Section in

accordance with the *Burlington County Policy, Procedures and Specifications Manual for: Road Occupancy, Road Opening, Driveway Access, Charitable Solicitation, Municipal Events*. The policy and application forms can be found on the Burlington County website (co.burlington.nj.us) under “Departments>Public Works>Planning Board>Applications & Checklists.”

## **ROADSIDE BUSINESS ESTABLISHMENTS**

Roadside business establishments include, but are not limited to grocery stands, fast food restaurants, filling stations and drive-in banks.

## **SEDIMENTATION**

The deposition of soil which has been transported from its site or origin by water, ice, wind, gravity or other natural means as a product of erosion.

## **SETBACK**

The shortest distance between the right-of-way line and a structure constructed on adjacent land. (See Figure 5.)

## **SHOULDER**

That portion of a right-of-way that lies between the edge of main pavement (main traveled way) and the curblineline, or edge of pavement.

## **SIDEWALK AREA**

That portion of the right-of-way that lies between the curblineline along the edge of pavement and right-of-way line. Whether improved or unimproved, it is considered and controlled as a sidewalk, utility, or planting area. (See Figure 5.)

## **SIGHT DISTANCE**

The distance from a point along a road at which approaching traffic becomes visible.

## **SIGHT EASEMENT**

Triangular-shaped area at the intersection of a road or driveway with a road, established in accordance with the standards of this Resolution, to assure clear visibility for the public safety. Nothing shall be erected, placed, planted or allowed to grow within said area which may obstruct vision.

## **SILTATION BASIN**

A temporary facility to collect silt and eroded soil resulting from grading the area of a land development to limit the deposition of silt and eroded soil in streams, brooks or drainage facilities.

## **SITE DEVELOPMENT**

Any construction or improvement which alters the existing use of a specific land parcel.

**SITE PLAN**

A development plan of one (1) or more lots on which is shown (1) the existing and proposed conditions of the lot, including but not limited to topography, vegetation, drainage, flood plains, marshes and waterways, (2) the location of all existing and proposed structures, drives, parking spaces, walkways, easements, means of ingress and egress, drainage facilities, utility services, landscaping, signs, lighting, screening devices, and (3) any other information specified by this Resolution or by the Land Development Review Committee or Planning Board as is deemed reasonably necessary for an informed review.

**SKETCH PLAT**

The rough layout of a proposed land development containing the elements specified herein of sufficient detail, clarity, and accuracy to be used for discussion prior to submission of a preliminary plan.

**SOIL EROSION AND SEDIMENT CONTROL PLAN**

A plan to control erosion and retard nonpoint pollution resulting from stormwater runoff and sediment.

**STREET OR ROAD**

A street, avenue, boulevard, road, parkway, viaduct, drive or other way (1) which is an existing state, county or municipal roadway or (2) which is shown upon a plat heretofore approved pursuant to law, or (3) which is approved by official action as provided by law, or (4) which is shown on a plat duly filed and recorded in the Office of the County Clerk prior to the appointment of a Planning Board and the grant to such board of the power to review plats; and includes the land between the street lines, whether improved or unimproved, and may comprise pavement, shoulders, gutters, curbs, sidewalks, parking areas and other areas within the street lines.

**STREET OR ROAD RIGHT-OF-WAY**

See “RIGHT-OF-WAY”.

**STRUCTURE**

A combination of materials forming a construction for occupancy, use or ornamentation, installed on, above, or below the surface of a parcel of land.

**SUBDIVISION**

The division of a lot, tract, or parcel of land into two (2) or more lots, tracts, parcels or other divisions of land for sale or development.

**TRAFFIC CONTROL DEVICE**

Signs, signals, markings, traffic control islands and devices placed on or adjacent to a street or highway by authority of a public body or official having jurisdiction to regulate, warn, or guide traffic.

## **TRAFFIC MANAGEMENT PLAN (TMP)**

A plan prepared by an applicant that demonstrates the applicant’s commitment to adhere to the results of the applicant’s traffic study for a development, and reflecting the agreement’s ongoing obligation to collect data that demonstrates the accuracy of the traffic study, after the development is occupied and functioning, and reflecting the consequences of the failure of the development to adhere to the results of that traffic study.

## **WATERCOURSE**

Any swale, stream, brook, creek, or river which is either the natural stream cut by water action through the landscape and continuously, frequently or intermittently occupied by the stream; or a stream channel which has been artificially realigned, constructed or improved. In general, the term refers to the natural watercourse including short sections relocated or modified by man, and not to man-made agriculture or other drainage ditches.

## **WATERSHED**

The total drainage area contributing runoff to a single point.

## **WATER QUALITY MANAGEMENT PLAN ADOPTION**

The approval given by the Burlington County Board of County Commissioners and the New Jersey Department of Environmental Protection to any element of the Tri-County Water Quality Management Plan.

## **WATER QUALITY MANAGEMENT PLAN AMENDMENTS**

The formal changes to the Burlington County Water Quality Management Plan that have been approved, adopted, and certified.

## **WATER QUALITY MANAGEMENT PLAN**

The documents which encompass the activities defined and referred to in Sections 208 and 303 of the Federal Clean Water Act (33 U.S.C. 466 et seq. and authorized in the New Jersey Water Quality Planning Act, N.J.S.A. 58:11A-1 et seq.).

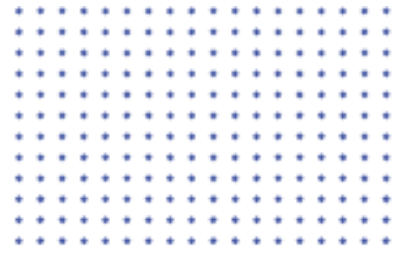
## **WETLANDS**

Those areas inundated or saturated by surface or groundwater at a frequency, magnitude and duration to support, and in normal circumstances do support a prevalence of vegetation adapted for life in saturated soil conditions, known as hydrophytic vegetation. Wetlands include lands with poorly drained or very poorly drained soils with seasonal high-water tables of one (1) foot or less from the surface as designated or defined by the U.S. Department of Interior National Wetlands Inventory and by the New Jersey Department of Environmental Protection Wetlands Maps and any soils so designated by the New Jersey Department of Environmental Protection pursuant to the Freshwater Wetlands Protection Act, N.J.S.A. 13:9B-1 et seq.

## **WETLANDS SOILS**

Those soils designated as very poorly drained or poorly drained by the Soil Conservation Service of the United States Department of Agriculture. Including but not limited to Atsion, Berryland, Muck, Pocomoke, Freshwater Marsh and Tidal Marsh soil types.

# 04 APPLICATION & REVIEW PROCEDURE: SITE PLANS



## 4.01 Applicability

Chapter 2 describes the developments subject to County Planning Board review, those which are exempt from review, and the procedure to follow to obtain a Certificate of Exemption. This chapter applies to site plan applications subject to County review.

## 4.02 Pre-Application Meeting

If a proposed development is complex or large in scale County engineering staff may be available on an as-time-permits basis to meet with a developer and his/her consultants prior to the time that the developer submits a formal application. Pre-application meetings shall be held only if the Planning Board Engineer believes that a development warrants it. The purpose of a pre-application meeting is to make County engineering staff aware of proposed large and complex developments and for the developer to obtain, early in the planning approval process, County engineering input into the location of access to the site, and for engineering staff to assess the potential impact of the development on county roads, drainage facilities and traffic. This review by County engineering staff and any suggestions made by them to a developer as a result of this meeting shall not obligate or restrict the Land Development Review Committee or the Planning Board with respect to their review of a formal application.

## 4.03 Sketch Site Plans

Sketch site plans may, but are not required to, be submitted informally to the Planning Board Engineer for review and discussion. An application for sketch site plan review shall include all of the information required by Chapter 8 of this Resolution. Review by County engineering staff shall be on an as-time-permits basis. Any recommendations by the County engineering staff to the developer as a result of this review shall be without prejudice to the County Planning Board and the Land Development Review Committee's review of the plan formally submitted for approval.

## Formal Review

### 4.04

County engineering staff shall review site plans and documents submitted for County review. If the County engineering staff determines that the applicant has failed to include all elements required to be filed with the application by this Resolution in accordance with Chapter 6, the Planning Board Engineer shall be authorized to reject the application and report said rejection to the municipal approving authority and the applicant.

**4.05**

At each meeting of the Land Development Review Committee the Planning Board Engineer shall report on the plans rejected pursuant to paragraph 4.04. The Land Development Review Committee shall approve or disapprove said actions by motion or resolution. In the event the Land Development Review Committee disapproves the rejection of any plan the application shall be reinstated, and the applicant and municipal approving authority notified accordingly.

**4.06**

County engineering staff shall review applications which include all information required by this Resolution, and shall make a recommendation to the Land Development Review Committee concerning the application, including recommending what conditions, if any, should be attached to approval of the application.

**4.07**

The Land Development Review Committee shall consider applications for site plan approvals at regular and such special meetings called for that purpose.

**4.08**

The Land Development Review Committee shall have 30 days from the date a complete site plan application is filed to consider and report its action thereon unless the time for it to take action has been extended for no more than an additional 30 days with the consent of the municipal approving agency and the applicant. Where the Land Development Review Committee rejects or conditionally approves an application it shall state its reasons for the rejection or conditions to approval in its report to the appropriate municipal authority and the applicant.

**4.09**

All actions on site plan applications shall be memorialized in writing. Where the report contemplated in paragraph 4.08 is made orally, a confirmatory writing consistent with the oral report shall be transmitted to the municipality and the applicant within ten (10) days of the date of the Land Development Review Committee’s action. The confirmatory writing to the applicant shall be transmitted by certified mail.

**4.10**

Performance and maintenance guarantee estimates shall be made in accordance with Chapter 9. The amount of the guarantees to be provided shall be specified in the written report of the Land Development Review Committee’s action.

**4.11**

Where a condition to approval requires the submission of corrected or revised plans, the applicant shall submit said plans within 30 days or such other period specified by the Land Development Review Committee. Failure to submit corrected drawings within the specified time shall constitute a violation of the approval and shall constitute grounds for revocation of approval and rejection of the application.

#### **4.12**

Where the Land Development Review Committee or the Planning Board determines that an applicant has failed to submit revised or corrected drawings within the specified time the applicant shall be so notified by a writing sent certified mail. The time within which corrected or revised plans are to be submitted may be extended upon application by the applicant and approval of the Land Development Review Committee. The applicant shall demonstrate good cause to extend the time.

#### **4.13 Duration of Approval**

Site Plan approval by the Land Development Review Committee shall be valid for the same period of time as municipal approval or a building permit, but in no event longer than three (3) years. At the applicant's request and with the consent of the municipal approving authority, two (2) one-year extensions of approval may be granted.

#### **4.14 Limitation on Approval**

Neither the Land Development Review Committee nor the Burlington County Planning Board is authorized to commit the expenditure of county funds, to approve a change in alignment of a county road or commit the County to the construction, modification or improvement of any county road, drainage facility or traffic-control device nor the acquisition of land for these purposes during its review of or in connection with its approval of an application for site plan approval.

#### **4.15 Violation of Conditions of Approval**

Where the County Engineer or Planning Board Engineer determines that an applicant, applicant's successor, developer, servant or agent is in violation of a condition of approval, written notice thereof shall be transmitted to the applicant and they shall take such action as may be necessary to safeguard the public safety where the violation presents a danger to any person. The applicant shall comply with directives issued to cure the violation within the time specified.

#### **4.16 Actions for Violation of Conditions of Approval**

Failure to comply with any of the conditions of County approval shall be grounds for any of the following actions, or such other action as may be deemed appropriate:

1. Refusal of the County to issue a road opening or access permit for the development;
2. A request to the local approval authority to issue a stop work order or to withhold the building permit or certificate of occupancy for the development;
3. Forfeiture of the performance bond or other guarantee submitted to the County where the violation pertains to performance secured by the guarantee; and
4. Appropriate court action.

## 4.17 No Approval of Future Development

An applicant may show buildings, structures, or facilities within or abutting the development which are contemplated for future development on the site plan for information purposes. However, County approval of an application shall apply only to the development immediately and officially under consideration. Areas shown as “for future development” shall neither be nor be deemed to be approved by the approval of the plat.

## Developments within the Pinelands

### 4.18

The following provisions apply to County Planning Board and other County approval agency review of developments within the Pinelands area of Burlington County designated by the Pinelands Protection Act, P.L. 1979 c. 111, as amended, and as required by the Comprehensive Management Plan authorized pursuant thereto.

- A. For purposes of this Resolution the following shall not be considered development in the Pinelands area except for development of any historic resource designated by the Pinelands Commission pursuant to N.J.A.C. 7:50-6.154:
  - i. The improvement, expansion or reconstruction within five (5) years of destruction or demolition, of any single-family dwelling unit or appurtenance thereof;
  - ii. The improvement, expansion, construction, or reconstruction of any structure accessory to a single-family dwelling;
  - iii. The improvement, expansion, construction or reconstruction of any structure used exclusively for agricultural or horticultural purposes;
  - iv. The construction, repair, or removal of any sign, except for the construction or replacement of any off-site commercial advertising sign;
  - v. The repair of existing utility distribution lines and the installation of utility distribution lines to serve existing development or development which has received all necessary approvals and permits;
  - vi. The clearing of less than 1,500 square feet of land;
  - vii. The construction of any addition or accessory structure for any non-residential use or any multi-family residential structure provided that said addition or structure will be located on or below an existing impermeable surface, that the existing use is served by public sewers, and that said addition or structure will cover an area of no more than 1,000 feet; or
  - viii. The demolition of any structure that is less than 50 years old.

Nothing herein shall preclude any county agency from reviewing, in accordance with the provisions of any applicable ordinance or regulation, any proposed development which does not require an application to the Pinelands Commission pursuant to "i" through "viii" above.

- B. Submission Requirements.** The applicant is required to submit one (1) of the following items in order for an application for development in the Pinelands area to be considered complete by the Burlington County Planning Board or any other County agency:
  - i. A Certificate or Notice of Filing from the Pinelands Commission issued pursuant to N.J.A.C. 7:50-4.34, or, until January 14, 1991, evidence of prior approval from the Pinelands Development Review Board or the Pinelands Commission pursuant to the Interim Rules and Regulations; or
  - ii. Notification from the Pinelands Commission that a prior municipal development approval complies with the Pinelands,
  - iii. A Certificate of Compliance as issued by the Pinelands Commission pursuant to N.J.A.C. 7:50-4.15 for development proposed in areas without certified local plans.
  
- C. Notice of Application Submission.** The Burlington County Planning Board or other approval agency shall give the Commission written notification by mail within seven (7) days of a determination by the County approval agency that an application for development is complete or if a determination is made by the County approval agency that an application which was previously filed has been modified. Said notice shall contain the information specified in N.J.A.C. 7:50-4.35(b).
  
- D. Notice of a Meeting or Hearing.** Where a hearing on an application for development approval in the Pinelands area is required, the County approval agency shall notify the Pinelands Commission, by mail or delivery of same to the principal office of the Commission, at least five (5) days prior to such hearing. Said notice shall contain the information specified in N.J.A.C. 7:50-4.35(c).
  
- E. Notice of Approvals and Denials.** The County approval agency shall notify the Pinelands Commission of all approvals (preliminary or final) and denials of development in the Pinelands area, whether the approval occurs by action or inaction of any County approval agency or an appeal of any County approval agency decision. The County approval agency shall give notice to the Commission by certified mail within five (5) days of the approval. Said notice shall contain the information specified in N.J.A.C. 7:50-4.35(d).
  
- F. Commission Review of County Approval.**
  - i. Upon receipt by the Pinelands Commission of a notice of approval pursuant to paragraph E above, the application for development approval shall be reviewed in accordance with the provisions of N.J.A.C. 7:50-4.37 through N.J.A.C. 7:50-4.42. The approval by the County shall not be effective and no development shall be carried out prior to a determination of whether the development approval will be reviewed by the Commission. If the applicant is notified that the Commission will review the application for development, no development shall

be carried out unless such review has been completed and the Commission has approved or approved with conditions the proposed development and the provisions of N.J.A.C. 7:50-4.38(d) have been fulfilled.

- ii. Although the Pinelands Commission shall be notified of all denials of applications for development, no such denial actions are subject to further review and action by the Pinelands Commission.

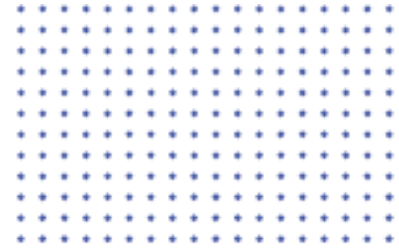
**G. Effect of Commission's Decision on County Approval.**

- i. If the Pinelands Commission disapproves any application for development previously approved by any County approval agency, the County approval agency shall revoke its approval within 30 days and shall thereafter deny such application.
- ii. If the Pinelands Commission approves a decision of any County approval agency subject to conditions, the County approval agency shall modify its approval to include all conditions imposed by the Commission within 30 days; and, if final approval of the application is required, shall grant such final approval only if the application demonstrates that the conditions specified by the Commission have been or will be met by the applicant.

**H. Public Development.** All development proposed by the County or any agency thereof will comply with all the requirements for public developments set forth in N.J.A.C. 7:50-4.51, et seq. and all the standards for development review set forth in sections B through G above.

**I. Reconsideration.** In the event of a disagreement between the County Planning Board and the Pinelands Commission with respect to requirements to be imposed on a development application, the County reserves the right to avail itself of the reconsideration procedures described in N.J.A.C. 7:50-4.91 and 4.92.

# 05 APPLICATION & REVIEW PROCEDURE: SUBDIVISION



## 5.01 Applicability

Chapter 2 describes the subdivision developments subject to County Planning Board review, those which are exempt from review and the procedure for obtaining a Certificate of Exemption. This Chapter applies to subdivision developments subject to County review.

## 5.02 Pre-Application Meeting

County engineering staff may be available on an as-time-permits basis to meet with a developer and his/her consultants prior to the time that the developer submits a formal application for approval of a complex or large-scale subdivision. The purpose of the meeting is to make the Planning Board engineering staff aware of large and complex developments and for the developer to obtain, early in the planning approval process, County engineering input into the location of access to the site, and for engineering staff to assess the potential impact of the development on county roads, drainage facilities and traffic. This review by Planning Board engineering staff and any suggestions made to a developer as a result of this meeting shall not obligate or restrict the Land Development Review Committee or the Planning Board with respect to their review of the formal application.

## 5.03 Sketch Plats of Proposed Subdivisions

Sketch plats of proposed subdivisions may be informally submitted to the Planning Board engineering staff for review and recommendations. Such submissions shall contain at least the information required by Chapter 8. Review by Planning Board engineering staff shall be on an as-time-permits basis. Any recommendations by the Planning Board engineering staff to the applicant as a result of this review shall be without prejudice to the Land Development Review Committee and the County Planning Board in their review of the formal application.

## Preliminary Plats of Proposed Subdivisions

### 5.04

Applications for preliminary review shall include all information required by Chapter 7. County engineering staff shall review the plans and documents submitted. If the County engineering staff determines that the applicant has failed to include all elements required to be filed by this Resolution in accordance with Chapter 7 the Planning Board Engineer shall be authorized to reject the application and report said rejection to the municipal approving authority and the applicant.

**5.05**

At each meeting of the Land Development Review Committee the Planning Board Engineer shall report on the plans rejected pursuant to paragraph 5.04, and the Land Development Review Committee shall approve or disapprove said actions by motion or resolution. In the event the Land Development Review Committee disapproves the rejection of any plan the application shall be reinstated, and the applicant and municipal approving authority notified accordingly.

**5.06**

The Planning Board Engineer shall review applications which comply with the terms of this Resolution and shall make recommendations to the Land Development Review Committee concerning the application, including the need for conditions to be attached to approval.

**5.07**

The Land Development Review Committee shall have 30 days from the date a complete subdivision is filed to consider and report its action thereon, unless the time for the Land Development Review Committee to take action on the application has been extended for no more than an additional 30 days with the consent of the municipal approving agency and the applicant. Where the Land Development Review Committee rejects or conditionally approves an application, it shall state its reasons for the rejection or conditions to approval in its report to the appropriate municipal authority and the applicant.

**5.08**

All actions on a subdivision application shall be memorialized in writing. Where the report contemplated in paragraph 5.07 is made orally, a confirmatory writing consistent with the oral report shall be transmitted to the municipal approving authority and the applicant within ten (10) days of the date of the Land Development Review Committee's action.

**5.09**

Performance and maintenance guarantee estimates shall be made in accordance with Chapter 9. The amount of the guarantees to be provided shall be specified in the written report of the Land Development Review Committee's action.

**5.10**

Where a conditional preliminary approval requires the submission of corrected or revised plans, the applicant shall submit said plans within the time specified by the Land Development Review Committee. Failure to submit corrected drawings within the time specified shall constitute a violation of the approval and grounds for the Planning Board to require resubmission of a preliminary application.

**5.11**

Upon review and approval by the County engineering staff of plans, corrected or revised in accordance with the directives of the Land Development Review Committee, and the submission of all other required documents, preliminary approval shall be granted.

**5.12**

Preliminary subdivision approval granted pursuant to the Resolution shall be valid for a period of three (3) years from the date of written approval. At the Applicant's request and with the consent of the Municipal Approving Authority, two (2) one-year extensions of the approval may be granted by the County Planning Board. The Applicant may apply for an extension either before or after the expiration date of the preliminary subdivision approval and/or extension of that approval. Any extension granted shall run from the expiration date of the previous approval. If design standards contained in this Land Development Review Resolution have been revised during any approval period, the revised standards may be applied prior to granting any extension.

**5.12.1** A preliminary subdivision approval granted for a residential Development containing more than 50 acres and with 225 residential units or less shall be valid for a period of three (3) years. The duration of said approval shall be extended one (1) year for each additional 75 residential units but shall not exceed a maximum duration period of ten (10) years.

A preliminary subdivision approval granted for a commercial or industrial Development containing more than 50 acres shall be valid for the same duration as that of the Municipal Approving Authority up to a maximum of ten (10) years.

A preliminary subdivision approval granted for a Development containing more than 50 acres which combines residential units with commercial or industrial uses shall be valid for the same duration as that of the Municipal Approving Authority up to a maximum of ten (10) years.

**5.12.2** Any preliminary subdivision approval with a duration of more than five (5) years duration shall require the submission of a current traffic report at the end of each five (5) year period. Applicant must submit a current traffic report prior to any final approval or the approval of an extension. The submitted traffic report must project the traffic impact of the Development to a design year beyond the duration of preliminary subdivision approval plus any possible extensions.

## **Final Plat Submission and Requirements**

### **5.13 Applicability**

An application for final approval shall include all documents required by this Resolution. Final subdivision approval is required for all major subdivisions and/or any subdivision that will be filed at the Clerk's Office by plat.

### **5.14**

Within 30 days of its receipt, the County engineering staff shall determine whether the applicant's final plat and supporting documents comply with the conditions of preliminary plat approval. If the Planning Board Engineer determines that the plat fails to comply with the conditions of preliminary approval or that the applicant has failed to submit all required documents, they shall so advise the applicant in writing. If the applicant believes that the submission complies with all terms of conditional approval, the applicant shall have the right to obtain the opinion of the Land Development Review Committee at a regularly scheduled meeting. If the Land Development Review Committee finds that the applicant has failed to comply with the terms of preliminary approval, it shall direct the applicant to comply with its decision. If the Land Development Review Committee finds that the applicant has complied with all conditions of preliminary approval, the plan shall be approved, and its filing authorized.

**5.14.1** The Applicant must apply for final subdivision approval on or before the expiration of the preliminary subdivision approval or the expiration of any extension of the preliminary subdivision approval. The duration of final subdivision approval shall be two (2) years from the date of the written approval. Final major subdivision plans must be recorded in the Office of the Burlington County Clerk within 95 days of the signing of the final plans by the Municipal Approval Authority and the County Planning Board unless such period is extended by either the Municipal Approving Authority or the County Planning Board.

**5.15**

If the Planning Board Engineer determines that the plan complies with all conditions of approval, or if the Land Development Review Committee so determines that the plan complies with all conditions of approval, pursuant to paragraph 5.14, any officer of the Planning Board shall be authorized to sign the plat. For that purpose, the plat shall include the following:

This plan is hereby approved by the Burlington County Planning Board subject to the restrictions, agreements, and conditions set forth by the Burlington County Planning Board.

---

Date

## **Developments within the Pinelands**

**5.16**

The following provisions apply to the County Planning Board and other County approval agency review of developments within the Pinelands area of Burlington County designated by the Pinelands Protection Act, P.L. 1979 c. 111, as amended, and as required by the Comprehensive Management Plan authorized pursuant thereto.

- A.** For purposes of this Resolution alone, the following shall not be considered development in the Pinelands area except for development of any historic resource designated by the Pinelands Commission pursuant to N.J.A.C. 7:50-6.154:
  - i.** The improvement, expansion or reconstruction within five (5) years of destruction or demolition, of any single-family dwelling unit or appurtenance thereof;
  - ii.** The improvement, expansion, construction, or reconstruction of any structure accessory to a single-family dwelling;
  - iii.** The improvement, expansion, construction or reconstruction of any structure used exclusively for agricultural or horticultural purposes;
  - iv.** The construction, repair, or removal of any sign, except for the construction or replacement of any off-site commercial advertising sign;

- v. The repair of existing utility distribution lines and the installation of utility distribution lines to serve existing development or development which has received all necessary approvals and permits;
- vi. The clearing of less than 1,500 square feet of land;
- vii. The construction of any addition or accessory structure for any non-residential use or any multi-family residential structure provided that said addition or structure will be located on or below an existing impermeable surface, that the existing use is served by public sewers, and that said addition or structure will cover an area of no more than 1,000 feet; or
- viii. The demolition of any structure that is less than 50 years old.

Nothing herein shall preclude any county agency from reviewing, in accordance with the provisions of any applicable ordinance or regulation, any proposed development which does not require an application to the Pinelands Commission pursuant to "i" through "viii" above.

**B. Submission Requirements.** The applicant is required to submit one (1) of the following items in order for an application for development in the Pinelands area to be considered complete by the Burlington County Planning Board or any other County approval agency:

- i. A Certificate or Notice of Filing from the Pinelands Commission issued pursuant to N.J.A.C. 7:50-4.34, or, until January 14, 1991, evidence of prior approval from the Pinelands Development Review Board or the Pinelands Commission pursuant to the Interim Rules and Regulations; or
- ii. Notification from the Pinelands Commission that a prior municipal development approval complies with the Pinelands Comprehensive Management Plan requirement; or
- iii. A certificate of compliance as issued by the Pinelands Commission pursuant to N.J.A.C. 7:50-4.15 for development proposed in areas without certified local plans.

**C. Notice of Application Submission.** The Burlington County Planning Board or other approval agency shall give the Commission written notification by mail within seven (7) days of a determination by the County approval agency that an application for development is complete or if a determination is made by the County approval agency that an application which was previously filed has been modified. Said notice shall contain the information specified in N.J.A.C. 7:50-4.35(b).

**D. Notice of a Meeting or Hearing.** Where a hearing on an application for development approval in the Pinelands area is required, the County approval agency shall notify the Pinelands Commission, by mail or delivery of same to the principal office of the Commission, at least five (5) days prior to such hearing. Said notice shall contain the information specified in N.J.A.C. 7:50-4.35(c).

**E. Notice of Approvals and Denials.** The County approval agency shall notify the Pinelands Commission of all approvals (preliminary or final) and denials of development in the Pinelands area, whether the approval occurs by

action or inaction of any County approval agency or an appeal of any County approval agency decision. The County approval agency shall give notice to the Commission by certified mail within five (5) days of the approval. Said notice shall contain the information specified in N.J.A.C. 7:50-4.35(d).

**F. Commission Review of County Approval**

- i. Upon receipt by the Pinelands Commission of a notice of approval pursuant to paragraph E above, the application for development approval shall be reviewed in accordance with the provisions of N.J.A.C. 7:50-4.37 through N.J.A.C. 7:50-4.42. The approval by the County shall not be effective and no development shall be carried out prior to a determination of whether the development approval will be reviewed by the Commission. If the applicant is notified that the Commission will review the application for development, no development shall be carried out unless such review has been completed and the Commission has approved or approved with conditions the proposed development and the provisions of N.J.A.C. 7:50-4.38(d) have been fulfilled.
- ii. Although the Pinelands Commission shall be notified of all denials of applications for development, no such denial actions are subject to further review and action by the Pinelands Commission.

**G. Effect of Commission's Decision on County Approval**

- i. If the Pinelands Commission disapproves any application for development previously approved by any County approval agency, the County approval agency shall revoke its approval within 30 days and shall thereafter deny such application.
- ii. If the Pinelands Commission approves a decision of any County approval agency subject to conditions, the County approval agency shall modify its approval to include all conditions imposed by the Commission within 30 days; and, if final approval of the application is required, shall grant such final approval only if the application demonstrates that the conditions specified by the Commission have been or will be met by the applicant.

**H. Public Development.** All development proposed by the County or any agency thereof will comply with all the requirements for public developments set forth in N.J.A.C. 7:50-4.51, et seq. and all the standards for development review set forth in sections B through G above.

**I. Reconsideration.** In the event of a disagreement between the County Planning Board and the Pinelands Commission with respect to requirements to be imposed on a development application, the County reserves the right to avail itself of the reconsideration procedures described in sections 4.91 and 4.92.

**5.17 Limitation on Approval**

Neither the Land Development Review Committee nor the Burlington County Planning Board is authorized to commit the expenditure of county funds to approve a change in alignment of a county road or commit the County to the construction, modification or improvement of any county road, drainage facility or traffic-control device nor the acquisition of land for such purposes during its review of or in conjunction with its approval of an application for subdivision approval.

## **Violation of Conditions of Approval.**

### **5.18**

Where the County Engineer or Planning Board Engineer determines that an applicant, applicant's successor, developer, servant or agent is in violation of a condition of approval, written notice thereof shall be transmitted to the applicant, and they shall take such action as may be necessary to safeguard the public where the violation presents a danger to any person. The applicant shall comply with directives issued to cure the violation within the time specified.

### **5.19**

Failure to comply with any of the conditions of County approval shall be grounds for one (1) or more of the following actions, or such other action as may be deemed appropriate:

1. Refusal of the County to issue a road opening or access permit for said land development;
2. A request to the local approval authority to issue a stop work order or to withhold the local building permit or certificate of occupancy for the development, if they have not been issued;
3. Forfeiture to Burlington County of any performance bond or other guarantee where the violation pertains to performance secured by the guarantee; and
4. Appropriate court action.

### **5.20**

All final plats to be filed with the County Clerk must be drawn in conformance with the New Jersey Map Filing Law and shall contain all of the requirements for drainage easements, encroachments lines, access restrictions, sight easements, and new or additional right-of-way or easements for county roads or drainage as shown on the approved preliminary plan.

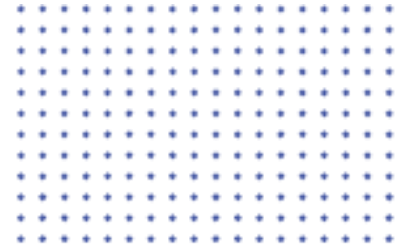
### **5.21**

County right-of-way shall be monumented with concrete monuments in accordance with the New Jersey Map Filing Law and County requirements as follows: adjacent monuments shall be intervisible; they shall be placed on the County right-of-way line at intervals of 2,000 feet or less; they shall also be placed at the intersections of the boundary of the tract and County right-of-way line, at the intersection of all subdivision street right-of-way lines where they intersect the County right-of-way line, and at all points of curvature, points of tangency, points of compound curvature and points of reverse curvature of the County right-of-way.

### **5.22**

If the monuments called for in Chapter 7 are to be set at a later date, a performance guarantee shall be posted with the municipal clerk to cover the cost of setting the monument.

# 06 REQUIRED CONTENTS: SITE PLANS



*NOTE: This chapter specifies the requirements for obtaining review of site plan applications. Failure of an applicant to comply herewith may result in rejection of an application pursuant to paragraph 4.04.*

## Minor Site Plan

### 6.01

Chapters 12, 13 and 14 should be consulted with respect to the design criteria required to be incorporated in applications for Planning Board approval. All minor site plan submissions shall include the filing of a completed and signed application form, one (1) legible print of plans of developments with or without frontage on a county road, a Pinelands certificate of filing or approval when the site is in Pinelands, and evidence of variance approval where applicable. One (1) electronic copy (PDF) of the submission package shall be sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us).

### 6.02

All plans submitted must be drawn at a scale of not less than 1"=50' unless otherwise approved prior to submission and shall include the following:

1. Signature and seal of a New Jersey licensed Professional Engineer or Registered Architect shall be on all plans and documents submitted.
2. The name and address of the person preparing the plans must be printed under the signature or in the title block.
3. Date of preparation and a revision date for each revision.
4. North Arrow.
5. Scale clearly noted on all plans.
6. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches.
7. Road names and route numbers on all roads.
8. Name of the land development and the municipality(ies) in which it is located.

9. Name and address of the owner and developer of the property.
10. Total area of the land development.
11. The number of existing and proposed units and/or floor space.
12. The municipal zoning district.
13. Tax map sheet, block and lot number.
14. A general indication (by use of arrows) of the direction of drainage flow.
15. Existing and proposed right-of-way width dimensioned with respect to centerline.
16. Ultimate Right-of-Way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>).
17. An outbound survey of the site showing the location of existing property lines, and identifying the source of the survey.
18. Location of existing water courses and their associated flood plains.
19. Location of existing and proposed storm sewer facilities.
20. A clear statement of the use proposed for the site.
21. Location of existing and proposed driveways, streets, curb, and sidewalk.

## Major Site Plans

### 6.03

All major Site Plan submissions for approval shall include the filing of items listed in paragraph 6.01 and, in addition, appropriate support data such as drainage calculations and traffic study. Plans shall be drawn at a scale of not less than 1"=50' unless otherwise approved prior to submission and shall contain the following additional elements:

1. If more than one (1) sheet is required to show the entire site plan, a separate composite map shall be drawn showing the entire development at a scale of not less than 1"=100' or 1"=200'.
2. Signature and seal of a New Jersey licensed Professional Engineer or Registered Architect shall be on all plans and documents submitted.
3. The name and address of the person preparing the plan shall be printed under the signature or in the title block.

4. Date of preparation and a revision date for each revision.
5. North Arrow.
6. Scale clearly noted on all plans.

**6.03A.** All site and composite plans shall include the following:

7. Road names and route numbers on all existing and proposed roadways.
8. Name of the land development and the municipality(ies) in which it is located.
9. Name and address of the owner and the developer of the property.
10. Total area of the development.
11. Total number of existing and proposed units and/or floor space.
12. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches.
13. Tax map sheet, block and lot number.
14. An outbound survey of the site showing the location of existing property lines, and identifying the source of the survey.
15. The municipal zoning district.
16. Location of existing and proposed roads, driveways, parking areas (including proposed number of spaces) and buildings. Statement of the proposed use of each building.
17. Existing and proposed right-of-way width dimensioned with respect to centerline.
18. Ultimate Right-of-Way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>).
19. Location of existing water courses and their associated flood plains.
20. Existing and proposed contours and/or spot elevations sufficient to determine the grading of the site.

**6.03B.** Applications shall include the submission of the following additional plans, where appropriate:

21. Detailed plans of work to be done in the County right-of-way shall be drawn at a scale of not less than 1"=30', and shall include the following information:

- A.** Existing spot elevations every 25 feet on the centerline and edge of existing pavement extending at least 100 feet beyond the proposed improvements.
- B.** Proposed spot elevations every 25 feet in the gutter and top of curb.
- C.** Existing and proposed underground utilities and utility poles.
- D.** Existing and proposed drainage facilities showing size, type, slope, invert and grate elevations.
- E.** Existing and proposed pavement markings, signs and traffic control devices.
- F.** At least two (2) permanent benchmarks based on NGS datum are required for the following developments:

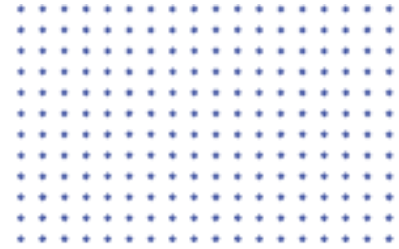
<b>AREA</b>	<b>DISTANCE TO NEAREST VERTICAL CONTROL</b>
Less than 2 acres	1 mile
2-50 acres	5 miles
Over 50 acres	10 miles

- G.** Separate striping plan where new striping is proposed.
  - H.** Typical county curb and paving detail.
- 22.** Cross sections are required every 100 feet where widening of a county road is proposed, showing existing and proposed grades. Additional cross sections will be required at critical locations and where a large change in grade occurs adjacent to County right-of-way. Cross sections should be at a scale of 1"=10' horizontal and 1"=2' vertical.
  - 23.** Soil erosion and sediment control plan.
  - 24.** Overall drainage plan showing existing and proposed drainage facilities.
  - 25.** Drainage area map (pre-developed and post-developed) showing a number for each area, size of each area, and the existing and proposed drainage facilities.
  - 26.** Overall utility plan showing all existing and proposed utilities.
  - 27.** Standard details such as curbing, paving, inlets, manholes, etc.
  - 28.** Drainage calculations for total undeveloped and developed runoff, storm sewer design, basin design, hydrographs, etc. Proposed retention/recharge systems must have at least one (1) soil profile and percolation test within the limits of the system.

**29.** Traffic study where required by this Resolution.

**30.** Detailed plans and specifications for all proposed box culverts and bridges which may become structures under County jurisdiction or improvements to existing County box culverts or bridges. Where applicable, the plans shall also be accompanied by the approval or waiver of the agencies listed in Chapter 14.

# 07 REQUIRED CONTENTS: SUBDIVISION PLANS



*NOTE: This chapter specifies the requirements for obtaining review of subdivisions. Failure of an applicant to comply herewith may result in rejection of an application pursuant to paragraph 5.04.*

## Minor Subdivisions

### 7.01

Minor subdivision application submissions shall include the filing of a completed and signed application form, one (1) legible print of plans of developments with or without frontage on a county road, a Pinelands certificate of filing or approval when the property is in Pinelands, and evidence of variance approval where applicable. One (1) electronic copy (PDF) of the submission package shall be sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us).

### 7.02

All plans submitted shall be drawn at the scale indicated below unless otherwise approved prior to submission, and shall include the following information:

AREA <sup>1</sup>	SCALE
Less than 20 acres	not less than 1"=50'
20-100 acres	not less than 1"=100'
more than 100 acres	not less than 1"=200'

<sup>1</sup> *The entire area involved in the subdivision must be drawn at the proper scale, not just the subdivided portion.*

1. Signature and seal of a New Jersey licensed Professional Land Surveyor shall be on all plans and documents submitted.
2. The name and address of the person preparing the plans must be printed under the signature or in the title block.
3. Date of preparation and a revision date for each revision.
4. North Arrow.



5. Scale clearly noted.
6. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches.
7. Road names and route numbers on all roads.
8. Name of the land development and the municipality(ies) in which it is located.
9. Name and address of the owner and developer of the property.
10. Total area of the development and the area of each proposed lot.
11. Tax map sheet, block and lot number.
12. The municipal zoning district.
13. Outbound property description based on deeds, and outbound survey of the subdivided lot(s).
14. Clearly note which lot lines are proposed, and which lot lines are to be removed.
15. Existing and proposed right-of-way width dimensioned with respect to centerline.
16. Ultimate Right-of-Way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>).
17. Existing and proposed driveway locations.
18. Signature block of the Chairperson of the County Planning Board clearly worded.
19. Proposed lot numbers for each lot involved in the subdivision.

## Major Subdivisions

### 7.03

All major subdivision application submissions shall include the items listed in paragraph 7.01.

## 7.04

The preliminary subdivision plans submitted must be drawn at the scale indicated below unless otherwise approved prior to submission:

<b>AREA</b>	<b>SCALE</b>
Less than 20 acres	not less than 1"=50'
20-100 acres	not less than 1"=100'
more than 100 acres	not less than 1"=200'

If more than one (1) sheet is required to show the entire site plan, a separate composite map shall be drawn showing the entire development at a scale of not less than 1"=100' or 1"=200'.

## 7.05

All plans shall include the following information:

1. Signature and seal of a New Jersey licensed Professional Land Surveyor on the preliminary subdivision plan or on an outbound survey plan to accompany the application.
2. The name and address of the person preparing the plans must be printed under the signature or in the title block.
3. If the subdivision involves the design and determination of new streets, drainage, utilities, pavement construction, etc., then the plans must also be signed and sealed by a New Jersey licensed Professional Engineer.
4. Date of preparation and a revision date for each revision.
5. North Arrow.
6. Scale clearly noted.

## 7.06

The subdivision plan and overall plan shall also include the following information:

7. Road names and route numbers on all existing and proposed roadways.
8. Name of the land development and the municipality(ies) in which it is located.
9. Name and address of the owner and developer of the property.
10. Total area of development and the area of each proposed lot.

11. Total number of lots, buildings, open space and remainder.
12. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches.
13. Tax map sheet, block and lot number.
14. The municipal zoning district.
15. Signature block of the Chairperson of the County Planning Board clearly worded.
16. Outbound property description based on deeds, and outbound survey of the subdivided lot(s).
17. Existing and proposed contours.
18. Existing and proposed right-of-way width dimensioned with respect to centerline.
19. Ultimate Right-of-Way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>).
20. Correct wording for right-of-way dedication to Burlington County.
21. Location of existing water courses and their associated flood plains.
22. Proposed lot numbers for each lot involved in the subdivision.

## 7.07

Other plans to be filed with the application as required by the Planning Board Engineer.

23. Detailed plans of work to be done in the County right-of-way shall be drawn at a scale of no less than 1"=30', and shall include the following information:
  - A. Existing spot elevations every 25 feet on the centerline and edge of existing pavement to extend at least 100 feet beyond the proposed improvements.
  - B. Proposed spot elevations every 25 feet in the gutter and at top of curb, and at each end of curb radii.
  - C. When paved shoulders are required with no curbing, existing and proposed spot elevations every 50 feet will be sufficient.
  - D. Existing and proposed underground utilities and utility poles.
  - E. Existing and proposed drainage facilities showing size, type, slope, invert and grate elevations.
  - F. Existing and proposed pavement markings, signs, and traffic control devices.

**G.** At least two (2) permanent benchmarks based on NGS datum are required for the following developments:

<b>SIZE</b>	<b>DISTANCE TO NEAREST VERTICAL CONTROL</b>
4 - 10 Lots	1 mile
11 - 50 Lots	5 miles
50+ Lots	10 miles

**H.** Separate striping plan where new striping is proposed.

**I.** Typical county curb and paving detail (see figures in Chapter 17).

**24.** Cross sections are required every 100 feet where widening of a county road is proposed, showing existing and proposed grades. Additional cross sections will be required at critical locations and where a large change in grade occurs adjacent to County right-of-way. Cross sections should be drawn at a scale of 1"=10' horizontal and 1"=2' vertical.

**25.** Profiles and typical cross sections of proposed streets.

**26.** Soil erosion and sediment control plan; location and general extent of wooded features, bodies of water and other physical features.

**27.** Overall drainage plan showing all existing and proposed drainage facilities, labels.

**28.** Overall utility plan showing all existing and proposed utilities.

**29.** Off-site utility plan, at a scale of 1"=50', for extensions to utilities along county roads.

**30.** Standard details such as inlets, manholes, typical paving sections, etc.

**31.** Drainage area map showing a number for each area, size of each area, and the existing and proposed drainage facilities.

**32.** Drainage calculations for the total undeveloped and developed runoff, storm sewer design, basin design, hydrographs, etc.

**33.** Traffic study where required by this Resolution.

# Final Subdivision Plans

## 7.08

All Final Subdivision Plan (plat) submissions shall include the items listed in paragraph 7.01.

## 7.09

All final plans (plats) shall be drawn at the scale indicated below unless otherwise approved prior to submission, and shall include the following information:

AREA <sup>1</sup>	SCALE
Less than 20 acres	not less than 1"=50'
20-100 acres	not less than 1"=100'
more than 100 acres	not less than 1"=200'

<sup>1</sup> The entire area involved in the submission must be drawn at the proper scale, not just the subdivided portion.

1. Signature and seal of a New Jersey licensed Professional Land Surveyor shall be on the plan(s) (plat(s)).
2. The name and address of the person preparing the plan (plat) must be printed under the signature or in the title block.
3. Date of preparation and a revision date for each revision.
4. North Arrow.
5. Scale clearly noted.
6. Road names and route numbers on all roads.
7. Name of the land development and the municipality in which it is located.
8. Name and address of the owner and developer of the property.
9. Total area of the development or section and the area of each proposed lot.
10. Tax map sheet, block and lot number.
11. Clearly note which lot lines are proposed, and which lot lines are to be removed.
12. Existing and proposed right-of-way width dimensioned with respect to centerline.

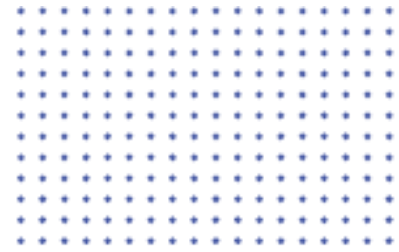
- 13. Ultimate Right-of-Way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>).
- 14. Signature block of the Chairperson of the County Planning Board clearly worded.
- 15. A statement of the proposed number of lots, open space and other lots, including the final number remaining after completion of the development or section.
- 16. Designation of a lot and block number for each new lot.
- 17. Correct wording for right-of-way dedication to Burlington County.
- 18. Location of proposed monuments as required by the Map Filing Law.

**7.10**

When final section plans (plats) are submitted for approval of improvement plans (plats), the following information shall also be included:

- 19. Utility Plan (plat).
- 20. Drainage Plan (plat) and its associated calculations.
- 21. County Road Improvement Plans (plats) when not approved at the Preliminary Plan (plat) stage.

# 08 REQUIRED CONTENTS: SKETCH SUBDIVISION PLATS, & SKETCH SITE PLANS



## Sketch Subdivisions

### 8.01

Complete sketch subdivision plan (plat) submissions consist of:

1. Completed and signed application form.
2. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us). Signature and seal of a New Jersey licensed Professional Land Surveyor, Professional Engineer, Registered Architect or Landscape Architect shall be on all plans and documents submitted. The name and address of the person preparing the plan must be printed under the signature or in the title block. The sketch subdivision plan (plat) shall include the following information:
  - a. Date of preparation and a revision date for each revision, north arrow, a scale clearly noted and road names and route numbers on all existing roads.
  - b. Name of the land development and the municipality(ies) in which it is located.
  - c. Name and address of the owner and developer of the property.
  - d. Total area of the land development to the nearest tenth of an acre.
  - e. Statement of the proposed number of lots.
  - f. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches.
  - g. Tax map sheet, block and lot number.
  - h. The approximate location of existing and proposed property lines.
  - i. Existing and proposed right-of-way width dimensioned with respect to centerline.
  - j. The municipal zoning district.



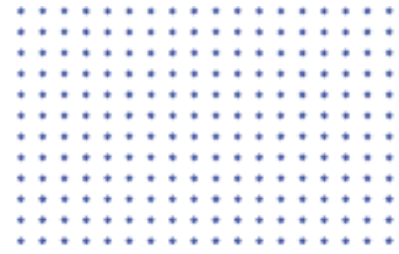
# Sketch Site Plans

## 8.02

Complete sketch site plan submissions consist of:

1. Completed and signed application form.
2. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us).
  - a. Signature and seal of a New Jersey licensed Professional Engineer or Registered Architect shall be on all plans and documents submitted. The name and address of the person preparing the plan must be printed under the signature or in the title block. The sketch site plan shall include the following information:
    - b. Date of preparation and a revision date for each revision.
    - c. North Arrow.
    - d. Scale clearly noted.
    - e. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches.
    - f. Road names and route numbers on all existing roads.
    - g. Name of the land development and the municipality in which it is located.
    - h. Name and address of the owner and developer of the property.
    - i. Total area of the land development.
    - j. Tax map sheet, block and lot number.
    - k. The municipal zoning district.
    - l. The number of existing and proposed units and/or floor space.
    - m. The approximate location of existing and proposed property lines.
    - n. Existing and proposed right-of-way width dimensioned with respect to centerline.

# 09 PERFORMANCE & MAINTENANCE GUARANTEES



## 9.01

No applicant shall be entitled to final approval of a land development which affects a county road or county drainage facilities, or requires the issuance of a building permit, an access permit by the County Engineer, or a road opening permit by the County Right-of-Way Access Department, unless the applicant has either installed the improvements required as a condition of Planning Board approval or posted adequate performance guarantees to assure the installation of the required improvements.

## 9.02

No applicant shall be entitled to final approval of a land development specified in paragraph 9.01 unless the applicant also provides required payments in lieu of drainage easement, installs required facilities exterior to the applicant's plat, makes payments in lieu of off-site improvements, installs the required drainage facilities, or provides the assessed costs attributable to the applicant's development for the future installation of County drainage facilities. All payments in lieu of improvements shall be made by certified check, cashier's check, money order or bank check payable to the Burlington County Treasurer and shall be held in the name of the Burlington County Board of Commissioners.

## 9.03

Each performance guarantee shall consist of: (a) an agreement to perform and (b) a surety, which may be in the form of a certified check, surety bond, irrevocable letter of credit, bank check or any other form acceptable to the Burlington County Planning Board upon the advice of the Planning Board Solicitor. Checks shall be payable to the Burlington County Treasurer; letters of credit and surety bonds shall name the Burlington County Board of Commissioners as beneficiary. Where the Planning Board has approved standard forms of surety or approved required language for letters of credit, the applicant shall use said forms or language.

## Computation of Guaranty Amount

## 9.04

The Planning Board Engineer shall prepare a cost estimate for all road and drainage improvements proposed or required as a condition of Planning Board approval to be made by the applicant within County right-of-way. The performance guarantee shall be in the amount of 110% of the Planning Board Engineer's estimate.

**9.05**

If the applicant believes that the cost determined by the Planning Board Engineer is excessive, they shall have the right to present his/her calculations to the Planning Board Engineer and the Land Development Review Committee. The amount required to be provided as a performance guarantee as a condition of approval shall be the amount established by the Planning Board Engineer or, in the event that the applicant challenges the Planning Board Engineer’s calculation, the Land Development Review Committee.

**9.06**

In the event the applicant fails to complete the required work within one (1) year of the Planning Board’s acceptance of the performance guarantee, the Land Development Review Committee may reevaluate the amount of the performance guarantee for the purpose of determining whether the costs upon which the performance guarantee was based have increased. If the Land Development Review Committee finds that the pertinent costs have increased, it may direct the applicant to increase the amount of the performance guarantee to ensure that said guarantee will be sufficient to pay for the required improvements in the event the developer defaults.

**9.07**

Where determined appropriate by the Land Development Review Committee, in lieu of installing the improvements contemplated in paragraphs 9.01 and 9.02 and providing a guarantee therefor, the applicant may be directed or permitted to make a cash contribution in the amount determined pursuant thereto to the County.

**9.08**

Where an applicant is required as a condition of approval to provide the County with a drainage easement, the applicant may, in lieu thereof, make a cash contribution to the County in an amount determined by the Planning Board Engineer.

**9.09**

If the applicant believes that the cost determined by the Planning Board Engineer pursuant to paragraph 9.08 is excessive, they shall have the right to present his/her calculations to the Planning Board Engineer and the Land Development Review Committee. The amount required to be provided as a condition of approval shall be the amount established by the Planning Board Engineer or, in the event that the applicant challenges the Planning Board Engineer’s calculation, the Land Development Review Committee. The amount so determined shall be the amount of cash contribution to be provided as a condition of approval.

**9.10**

The cost of all improvements required to be installed by the applicant for County purposes pursuant to the directive of the Land Development Review Committee or Planning Board including, but not limited to work within County right-of-way, shall be included in the performance guarantee to be posted with the County. For purposes of this paragraph, “County purposes” shall include the County’s right, power and authority to specify conditions of and pertaining to county roads, drainage facilities and traffic and safety matters pertaining thereto, for and in consideration of the safety, and convenience of the public. An applicant shall be required to post a guarantee for all improvements deemed by the Land Development Review Committee or the Planning Board to be for a County purpose, notwithstanding that a municipality shall also have required the applicant to post a guarantee

for the subject improvement. In the event that a required improvement might be deemed to have both a County and municipal purpose, the County purpose shall be presumed to be paramount absent a clear showing to the contrary.

**9.11**

The Planning Board Solicitor shall review all performance guarantees for legal sufficiency and compliance with this Chapter. Upon Planning Board Solicitor approval of a performance guarantee, County engineering staff shall be authorized to recommend that building, access or road opening permits be issued, if appropriate.

**9.12**

At regular, and special meetings called for that purpose, the Planning Board shall accept or reject performance guarantees submitted in accordance with the foregoing. Said acceptance constitutes acceptance by the Burlington County Board of Commissioners.

**9.13**

The Burlington County Treasurer shall provide a suitable depository for all monies submitted as performance and maintenance guarantees. Such funds shall be used in accordance with the County Planning Law, N.J.S.A. 40:27-1 et seq.

**9.14**

Upon issuance of building, access or road opening permits, the applicant shall be fully responsible for accidents or injuries resulting from the acts or failure(s) to act by the applicant, its servants, agents, employees and contractors pertaining to the installation of the improvements.

**9.15**

The County Engineer and the Planning Board Engineering staff shall have the right, but not the obligation, to inspect the applicant's work site to determine that the applicant's construction conforms to the applicant's approved plans and that the applicant's construction is not creating a hazardous situation to the travelling public.

**Release of Performance Guarantee**

**9.16**

Within 30 days of a written request from the applicant, County engineering staff shall inspect all improvements for which a performance guarantee has been provided. If the Planning Board Engineer finds that the required improvements have been satisfactorily constructed in conformance with the standards and specifications of this Resolution, the terms and conditions of the performance guarantee and the applicant's approval, they shall so certify to the Planning Board.

**9.17**

If the County engineering staff finds that all or any portion of the improvements required to be installed as a condition to Planning Board approval have not been installed or have not been installed in accordance with the standards set forth herein or approved plans(s), staff shall so advise the applicant in a writing specifying the defects in the applicant's construction. If the applicant believes that the required improvements have been properly installed, they may so advise the Planning Board and

request a ruling therefrom. The Planning Board shall determine, based on evidence presented by the applicant and County engineering staff, whether the applicant has satisfactorily installed the improvements required as a condition to approval.

### **9.18**

Certifications of the Planning Board Engineer pertaining to the installation of improvements secured by performance guarantees shall be presented to the Planning Board. If the Planning Board is satisfied with the certifications, it shall adopt a motion or resolution so stating and recommend that the Burlington County Board of Commissioners release the applicant's performance guarantee, except that a performance guarantee shall not be released until the applicant has submitted an acceptable maintenance guarantee where the amount of said maintenance guarantee exceeds \$750.

### **9.19**

Within a reasonable time of receiving a request to release, the Board of Commissioners shall release the performance guarantee or advise the applicant why it declines to do so.

## **Maintenance Guarantees**

### **9.20**

All applicants required to post performance guarantees and all applicants installing the required improvements, prior to final approval, shall provide a maintenance guarantee guaranteeing the adequacy of the constructed improvements, to be effective for a period of not less than one (1) year but not more than two (2) years after the Planning Board has accepted the maintenance guarantee. Such guarantee shall consist of (a) an agreement to satisfactorily maintain the improvements installed as a condition of Planning Board approval and (b) a surety in the form of a certified check, cashier's check, maintenance bond, irrevocable letter of credit, bank check or any other form acceptable to the Planning Board upon the advice of the Planning Board Solicitor. All checks shall be payable to the Burlington County Treasurer; surety bonds shall name the Burlington County Board of Commissioners as beneficiary. Where the Planning Board has approved standard forms of surety or approved required language for letters of credit the applicant shall use said forms.

### **9.21**

Each maintenance guarantee shall be in an amount not less than fifteen percent (15%) of the amount of the performance guarantee amount. No applicant shall be required to post a guarantee where fifteen percent (15%) of the performance guarantee is less than \$750.00.

### **9.22**

The Planning Board Solicitor shall review all maintenance guarantees for legal sufficiency and compliance with this chapter and advise the Planning Board accordingly.

## Release of Maintenance Guarantees

### 9.23

County engineering staff shall inspect all improvements which are the subject of a maintenance guaranty 60 days prior to the expiration date of the guarantee, or such other time as may be appropriate, to determine whether the improvements are in satisfactory condition engineering staff shall so certify to the Planning Board.

### 9.24

If the Planning Board Engineer finds that all or any portion of the improvements installed as a condition to Planning Board approval have deteriorated or otherwise not remained in satisfactory condition during the period of the maintenance guarantee, the Engineer shall so advise the applicant in a writing specifying the defects in the applicant's construction. If the applicant believes that the improvements have remained in satisfactory condition and are not defective, it may so advise the Planning Board and request a ruling therefrom. The Board shall determine, based on the evidence presented by the applicant and the County engineering staff, whether the applicant's improvements have remained in satisfactory condition during the period of the maintenance guarantee.

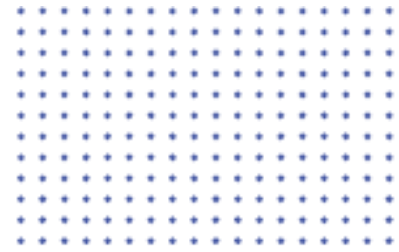
### 9.25

The certifications of County engineering staff shall be presented to the Planning Board. If the Planning Board is satisfied with the certification, it shall adopt a motion so stating and recommend that the Burlington County Board of Commissioners release the applicant's maintenance guarantee.

### 9.26

On the request of the Planning Board, the Board of Commissioners, shall, by resolution, release the maintenance guarantee or advise the applicant of its reason(s) for failing to do so.

# 10 APPEAL PROCESS



## Appeals to the County Planning Board from Action by the Land Development Review Committee

### 10.01 Appeals to the County Planning Board from action by the LDRC

An applicant may file an appeal to the County Planning Board from action taken by the Land Development Review Committee, (“LDRC”), by filing a notice of appeal, in writing, to the Planning Board within ten (10) days after the date that the applicant received notice, by certified mail, of the action of the LDRC.

### 10.02 Form of Notice of Appeal to the County Planning Board

All Notices of Appeal from action taken by the LDRC shall include the following: the name and address of the applicant; the name and location of the proposed development; the date of the action by the LDRC, and the date when the applicant received notice of the action of the LDRC, and; the reason(s) for the appeal. If the County Planning Board adopts a standard form of Notice of Appeal, the applicant shall utilize that form in filing the Notice of Appeal.

### 10.03 Time for Considering the Appeal by the County Planning Board

The County Planning Board shall consider the appeal at a regular or special public meeting within 45 days from the filing of the Notice of Appeal.

### 10.04 Notice of the Hearing by the County Planning Board

The County Planning Board shall serve notice of the hearing over the appeal by certified mail at least ten (10) days prior to the hearing. Notice shall be served to the applicant and, as appropriate, to the municipal clerk, to the municipal planning board, to the municipal zoning board of adjustment, to the municipal building inspector, and to the municipal zoning officer.

### 10.05 Specific Reasons for Appeal

At least ten (10) days prior to the scheduled hearing, the appellant shall deliver to the Planning Board Secretary, and shall serve upon all persons or entities who received notice of the appeal, a written statement of the facts and claims that the appellant intends to prove at the hearing, including, as appropriate, a statement of the legal basis for each of the appellant’s claims.

### 10.06 Procedures for Hearing

The hearing shall be conducted consistent with such rules and procedures as the Planning Board establishes prior to the hearing.

**10.07 Record of Appeal Proceedings**

The hearing shall be recorded, and the appellant shall bear the cost of recording the hearing proceedings and, as appropriate, the cost of transcribing the hearing proceedings.

**10.08 Decision on the Appeal by the County Planning Board**

The County Planning Board shall render a decision on the appeal within thirty (30) days from the date of the hearing.

**Appeals to the Board of County Commissioners from Actions of the County Planning Board**

**10.09 Appeals to the Board of County Commissioners by any person who is aggrieved by the action of the County Planning Board on subdivision or site plan review**

Any person who is aggrieved by the action of the County Planning Board in regard to subdivision review and approval, or site plan review and approval, may file an appeal, in writing, to the Board of County Commissioners within ten (10) days after the date that the aggrieved person received notice, by certified mail, of the decision of the County Planning Board.

**10.10 Form of Notice of Appeal to the Board of County Commissioners**

All Notices of Appeal to the Board of County Commissioners from action taken by the County Planning in regard to subdivision or site plan review and approval shall include the following: the name and address of the applicant; the name and location of the proposed development; the date of the action by the Planning Board, and the date when the applicant received notice of the action of the County Planning Board, and; the reason(s) for the appeal. If the County Planning Board adopts a standard form of Notice of Appeal, the applicant shall utilize that form in filing the Notice of Appeal.

**10.11 Time for considering the appeal by the Board of County Commissioners**

The Board of County Commissioners shall consider the appeal at a regular or special public meeting within 45 days from the filing of the Notice of Appeal.

**10.12 Notice of the Hearing by the Board of County Commissioners**

The Board of County Commissioners shall serve notice of the hearing over the appeal by certified mail at least ten (10) days prior to the hearing. Notice shall be served to the applicant and, as appropriate, to the municipal clerk, to the municipal planning board, to the municipal zoning board of adjustment, to the municipal building inspector, and to the municipal zoning officer.

**10.13 Specific Reasons for Appeal**

At least ten (10) days prior to the scheduled hearing, the appellant shall deliver to the Board Clerk, and shall serve upon all persons or entities who received notice of the appeal, a written statement of the facts and claims that the appellant intends to prove at the hearing, including, as appropriate, a statement of the legal basis for each of the appellant’s claims.

**10.14 Procedures for Hearing**

The hearing shall be conducted consistent with such rules and procedures as the Board establishes prior to the hearing.

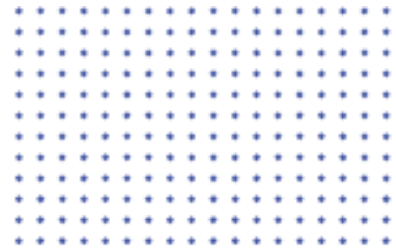
**10.15 Record of Appeal Proceedings**

The hearing shall be recorded, and the appellant shall bear the cost of recording the hearing proceedings and, as appropriate, the cost of transcribing the hearing proceedings.

**10.16 Decision on the Appeal by the Board of County Commissioners**

The Board of County Commissioners shall render a decision on the appeal within thirty (30) days from the date of the hearing.

# 11 FEES



## 11.01

The fees set forth herein shall be applicable to all land development applications filed on or after April 1, 2024.

## 11.02

The following are exempt from paying application fees: state agencies, instrumentalities and commissions, county and municipal governments, houses of worship, and nonprofit hospital facilities.

## 11.03

Payment shall be made at the time the applicant files its application for development. No application will be accepted for review unless payment in the correct amount and in an approved form is presented with the application.

## 11.04

The approved forms of payment are personal checks, certified checks, cashier's checks, money orders and bank checks. No third-party checks or cash will be accepted. All checks shall be made payable to the Burlington County Treasurer.

## 11.05

In the event that an applicant's check is dishonored, the applicant shall have three (3) business days to deliver a replacement payment to the Planning Board, which payment shall include any costs incurred by the Board for the dishonor of the applicant's check. The applicant's failure to correct the deficiency shall constitute cause for rejection of the applicant's application.

## 11.06

Application fees are not refundable, notwithstanding the fact that the applicant withdraws the application.

## 11.07

If an application is rejected for the applicant's failure to include all required elements in its plan or for engineering considerations, the applicant shall not be required to submit a new application fee if the applicant submits plans correcting the deficiencies within one (1) year of the date the applicant's plan is rejected. Submission of corrected plans thereafter shall be accompanied by a new application fee.

## 11.08

No new application fee shall be required if the applicant submits revised plans pursuant to direction by the Planning Board staff. However, if the applicant substantially revises its plans for any reason other than pursuant to request by Planning Board staff or to comply with requirements of state, municipal or other regulatory agencies, a new application fee shall be required. Whether a change in plans is substantial shall be decided by Planning Board engineering staff. Generally, a change in plans shall be regarded as substantial if the change will necessitate a full rereview by Planning Board engineering staff.

## 11.09

If the applicant substantially revises its plans to comply with state, municipal, or other regulatory agency a resubmittal fee of 30 percent of the original fee shall be paid.

## 11.10 Subdivision Applications

<b>Pre-Application Submission</b>	No Fee
<b>Exempt</b>	No Fee
<b>Minor Subdivisions <sup>1</sup></b>	
Preliminary Plan	\$200.00
Final Plat	\$200.00
<b>Major Subdivisions – Frontage on or access to a County Road</b>	
Sketch Plat	\$200.00
Preliminary Plan <sup>2, 3</sup>	
Residential Use	\$800.00 + \$20.00/Lot
Commercial Use	\$800.00 + \$30.00/Acre
Industrial Use	\$800.00 + \$20.00/Acre
Final Plat	\$400.00
<b>Major Subdivision – No frontage on or access to a County Road</b>	
Sketch Plat	\$200.00
Preliminary Plan <sup>2, 3</sup>	
Residential Use	\$400.00 + \$20.00/Lot
Commercial Use	\$400.00 + \$15.00/Acre
Industrial Use	\$400.00 + \$10.00/Acre
Final Plat	\$400.00

<sup>1</sup> See definition in Chapter 3.

<sup>2</sup> Uses which combine residential and commercial uses shall apply the commercial rate to the commercial space and the residential rate to the residential space.

<sup>3</sup> The commercial rate shall apply to developments which combine commercial and industrial uses.

## 11.11 Site Plan Applications

<b>Exempt</b>	No Fee
<b>Pre-Application Submission</b>	No Fee
<b>Minor Site Plans <sup>1</sup></b>	
Preliminary Plan	\$200.00
Final Plan	\$200.00
<b>Sketch Plan</b>	\$200.00
<b>Major Site Plans – Site with frontage on or access to a County Road <sup>2</sup></b>	
Preliminary Plan <sup>2</sup>	
Residential Use	\$800.00 + \$10.00/Space <sup>2</sup>
Commercial Use	\$800.00 + \$10.00/Space <sup>2</sup>
Industrial Use	\$800.00 + \$10.00/Space <sup>2</sup>
Final Plan	\$200.00
<b>Major Site Plan – No frontage on or access to a County Road <sup>2</sup></b>	
Preliminary Plan <sup>2</sup>	
Residential Use	\$400.00 + \$6.00/Space <sup>2</sup>
Commercial Use	\$400.00 + \$6.00/Space <sup>2</sup>
Industrial Use	\$400.00 + \$6.00/Space <sup>2</sup>
Final Plan	\$200.00

<sup>1</sup> See definition in Chapter 3.

<sup>2</sup> Both tractor trailer and car parking spaces are to be included in fee calculations. Loading bays are not to be included in the calculations.

## 11.12 Exempt Subdivisions

Applications which are exempt from County Planning Board review are those for the division of land in which no new streets are created and which satisfy any one (1) of the following conditions:

- A.** the applicant swears by certification or affidavit that the division of land is for agricultural purpose(s) and all resulting parcels will be five (5) or more acres in size;
- B.** the division of land is by testamentary or intestate provision;
- C.** the division is pursuant to court order, including a judgment of foreclosure;
- D.** existing lots are to be consolidated by deed or other instrument to be recorded; or
- E.** the conveyance of one (1) or more adjoining lots, tracts or parcels of land which are found and certified by the administrative officer as conforming to the requirements of the municipal development regulations and are shown and designated as separate lots, tracts or parcels on the tax map of the municipality and owned by the same person or persons.

### 11.13 Exempt Site Plans

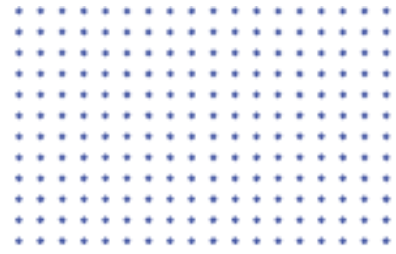
The following land developments are exempt from County Planning Board review:

- A. development of an individual single-family residence;
- B. development of any use not along a county road which includes less than one (1) acre of new impervious surface;
- C. development of any use not along a county road which will not cause stormwater to drain directly or indirectly to a county road or through any drainage-way, structure, culvert, pipe, or facility that the County constructed, is responsible for proper functioning, or is responsible to maintain.

### 11.14

The applicant shall be responsible for computing the correct application fee. If the applicant is unsure about the correct amount of fee, they should consult with Planning Board staff.

# 12 GENERAL DESIGN CRITERIA



The design of all developments submitted to the Burlington County Planning Board shall conform to the criteria, proposals and standards of the Burlington County Highway Master Plan and the standards, requirements and specifications of this Resolution.

Modification of any design standards and details specified in this Resolution shall be made only by the Planning Board with the permission of and in accordance with the recommendations of the Burlington County Engineer.

Right-of-way dedication shall be accomplished in accordance with Chapter 15.

## 12.01 Traffic Impact Study

If traffic generated by a development is expected to significantly impact a county road, the applicant shall submit a comprehensive traffic engineering study as part of the application.

A traffic impact study shall be submitted for proposed developments that generate 50 or more peak hour trips. A traffic impact study is required for any new proposed multi-unit housing development or commercial site along or affecting a county road. A traffic impact study may be required for a proposed development that does not meet the threshold value for a traffic impact study when special circumstances exist that include, but are not limited to, the following:

- A. generate heavy truck traffic.
- B. generate bus traffic.
- C. near a historical site or within a historic district or urban area.
- D. near a school or a major public facility such as a regional library.
- E. within a central business district.
- F. contains a drive-through facility.
- G. within 500 feet of a signalized intersection.
- H. contain a new road or driveway that would result in turning movement conflicts with adjacent roads or driveways, or roads or driveways on the opposite side of the abutting street.

- I. located in an area where special safety concerns exist or would be created as a result of the proposed development.

The traffic study shall be a written report containing the following information:

1. Project Description, including location map, description of project, project phasing with design year(s) identified, any unique operational activities associated with the proposed development that may impact trip characteristics, and proposed transportation improvements.
2. Transportation system inventory, including key roadways and intersections within the study area, evaluation of nearby public transportation (bus, rail, etc.), and existing traffic data collection.
  - a) Traffic counts should be conducted within one (1) year of the application submission unless otherwise directed by the County Engineer. Count data shall include classification, pedestrian counts, and right-turn on red volumes if permitted and used in the capacity analyses. Manual counts should include all intersections within the study area, and at minimum, one (1) ATR (Automated Traffic Recorder), consisting of a full week of directional values, shall be collected for each frontage roadway. Counts should be performed in the appropriate months and time periods accounting for area development and type of development proposal.
  - b) Intersection turning movement count data shall be summarized by fifteen-minute intervals over a peak two-hour period for the typical weekday commuter peak hours of 7:00 to 9:00 AM and 4:00 to 6:00 PM. Additional peak periods, such as the weekday midday period, weekend peak period, and/or expected peak hour of the site, may be required at the direction of the County Engineer.
3. Trip generation shall be based on the latest edition of the Institute for Transportation Engineer’s *Trip Generation Manual*, or approved by the County Planning Board, and shall be presented in table format. The trip generation shall be calculated for the roadway and site peak hours, as well as daily trip generation totals. Non-passenger car, non-vehicular, pass-by, internal trips, and time-of day projections shall be calculated if warranted. The application of pass-by and internal trip reductions shall be applied per Institute of Transportation Engineers (ITE) and NJDOT standards unless otherwise directed by the County Engineer.
4. Trip assignment of generated trips – The trip distribution procedure and rationale shall be documented and graphically provided. If warranted, graphically provide separate trip assignments for different types of vehicles.
5. Development of existing and future design year traffic volumes, with and without the proposed development – Future traffic volumes shall include background growth factors published by NJDOT or DVRPC, and any additional traffic due to nearby planned developments that will be operational by the design year. For analysis purposes, the design year shall correspond to the development’s anticipated year of completion. 24-hour roadway projections for future conditions with and without the proposed development shall be provided if warranted. Independent historical traffic growth may be permissible.

6. Capacity analyses, including levels of service, delay and queueing shall be evaluated for the following scenarios: existing, design year (with and without development), and design year with any identified improvements by others or the applicant. The Level of Service (LOS) should be presented graphically and in table format.
  - a) Improvements are to be implemented to obtain LOS C or better in rural areas and LOS D in urban areas. Any measurable degradation in quality of the traffic flow shall be mitigated at the expense of the applicant.
  - b) County road approaches anticipated to operate under no-build conditions at:
    - i. LOS A or B, deterioration to LOS C will be allowed in the build condition;
    - ii. LOS C or D, deterioration of one-half of LOS D will be allowed in the build condition, provided that the build LOS remains at D or better;
    - iii. LOS E or F, no deterioration will be allowed.
7. Queuing analysis, gap analysis, auxiliary turn lane analysis, intersection control evaluations, signal warrant evaluations, and transportation management techniques should be considered if warranted based on the levels of service, extent of the project, or impact analysis.
8. Appendices including traffic data collection, trip generation data, signal timings, capacity analyses, warrant analysis, and conceptual plans of any mitigation measures shall be provided.

## 12.02 Right-of-Way Control

No part of county road right-of-way may be used for the conduct of private business. The county road right-of-way shall be kept clear of buildings, sales or merchandise displays, vehicular parking areas, servicing of vehicles, advertising signs, devices or markings, service equipment and appurtenances thereto. The County may take any action deemed appropriate for violation of this section.

## 12.03 Control of Access

Developments which include lots abutting county roads shall, where appropriate, provide a system of internal roads so that lots contiguous to the county road will front on an internal street, cul-de-sac road, or marginal access road, which may be required to limit the number of driveways on county roads to promote safety for the traveling public and lot owners.

If a development's size, shape or other circumstance makes provision of a marginal access road, reverse frontage, cul-de-sac roads or internal road system impractical or unnecessary, as determined by the Land Development Review Committee, the lots in said land development shall have adjacent driveways with provision for a turnaround area (refer to Figure 16). Access restrictions may be imposed as a condition to approval of subdivisions not large enough for reverse frontage. New lots with driveway access to a county road will be limited to one (1) driveway providing on-site turnaround.

A land development not large enough for reverse frontage, but large enough for a subdivision of more than one (1) lot, may be permitted one (1) access to the county road. However, the remainder of the parcel shall be limited to one (1) access to the county road.

Approval of a subdivision of a lot having frontage of 1,000 feet or more on a county road shall be subject to the condition that a newly created lot for residential use will be restricted to one (1) access to a county road and a turnaround driveway. Further subdivision of the remaining tract shall be designed to provide for control of access by one (1) of the methods named in the first paragraph of this section with limited access to the county road.

Lots with frontage on both municipal and county roads shall use the municipal road for access to the property unless the Land Development Review Committee determines that this requirement imposes extreme undue hardship upon the applicant. The applicant shall have the burden of demonstrating the existence of such hardship.

Lots having frontage on By-Pass roads built by Burlington County will be allowed to have access to the By-Pass only if the lot does not have access to another roadway or if new municipal roads are constructed to intersect with or cross the bypass. Lots fronting on by-pass roads built by developers will be allowed very limited access to the by-pass road, as approved on the overall preliminary subdivision or site plan. Subdivisions creating new lots with frontage only on a by-pass road will not be approved unless allowance is made for access from another road to the new lot through a recorded access easement. New Municipal roads designed to intersect or cross a by-pass road will be considered on a very limited basis, as the by-pass roads have been constructed for the purpose of facilitating traffic movement without frequent interruption for the safety and availability of these roadways for the public.

Where lots having frontage on a county road have been restricted to road access by an interior street, a statement approved by the Burlington County Planning Board Solicitor shall appear on the face of the final plat of the development to be recorded in the County Clerk's Office which declares that access to the lots is restricted to access from the interior street. The owner shall also include such a stipulation in deeds conveying the lots so restricted.

## **12.04 Parking Areas**

Developments shall provide the number of off-street parking spaces required by the applicable municipal ordinance. Consideration should be given to using portions of large parking areas and adjacent land areas for detention of stormwater runoff.

Parking spaces shall be designed in accordance with the guidelines contained in the current edition of the Institute of Traffic Engineer's Handbook. Consideration will be given to reducing the parking space dimensions for spots designated for compact or small cars, and for low turn-over spaces, such as office and industrial developments.

Off-street parking areas shall be designed to prevent the maneuvering of vehicles into or out of parking spaces or the storage of vehicles within any portion of an entrance driveway or driveway lane that is within 25 feet of the right-of-way line of the county road. Off-street parking areas shall be so designed as to permit all vehicles to turn around on the site to prevent vehicles from backing out onto the county road.

Off-street parking spaces, adjacent parking access lanes, and maneuvering space shall not be located within existing or proposed County right-of-way or sidewalk areas.

Approved on-street parking shall not obstruct sight distance from the site driveway or an adjacent intersecting street or driveway.

### **12.05 Loading Areas**

Where regular truck traffic is anticipated, the development shall include the number of off-street truck loading or unloading spaces required by the applicable municipal ordinance.

Off-street truck loading and unloading berths shall be located out of County right-of-way and sidewalk areas; they shall be so located and designed to permit any truck to maneuver from a driveway into and out of such space without encroaching upon any portion of existing or proposed County right-of-way, sidewalk area, or within sight lines and sight triangles.

Site plans for roadside business establishments which include temporary stopping and maneuvering space for vehicles of customers or patrons whenever practical shall be located so that the stopping or maneuvering space is at least 25feet back of the existing or, where applicable, Ultimate Right-of-Way (UROW) line of the county road.

### **12.06 Drive-Throughs**

A drive-through shall be designed to not allow vehicles to stack through the site driveway and onto the county road. The site plan shall provide a minimum distance of 50 feet from the rear of the maximum queue (or 95<sup>th</sup> percentile queue) to a point where vehicles can freely maneuver into the site driveway circulation pattern.

### **12.07 Driveways**

All development projects along a county road are required to meet access spacing requirements set by Burlington County.

Determining the location and spacing of driveways will be based on the number of existing and proposed site driveways, stopping sight distance and intersection sight distance, posted/operating speed of the county road, types of vehicles and volumes anticipated at each site driveway, surrounding land uses, and whether the development is in an urban, suburban or rural environment.

Generally, only one (1) new two-way driveway shall access a county road from a proposed development. Two (2) access driveways may be permitted for an individual site where one-way driveway circulation is permitted. Where more than one (1) two-way driveway is permitted on a county road from a site, a minimum distance of at least 400 feet shall be provided between the closest edges of the driveways.

Driveways shall intersect the county road at right angles (90° as measured at the centerlines of the intersecting driveway and the centerline of the county road). If due to mitigating site conditions it is not practical for the roads, streets or driveways to intersect the county road at 90°, a maximum angle of 75° may be permitted.

The minimum width of a driveway for non-residential or multi-family residential use shall be 24 feet, with a maximum width of 45 feet. The types of vehicles that will use the driveway shall be considered when determining the driveway width. All new driveways must be designed to accommodate a single unit truck. Vehicles larger than a single unit truck may be required based on the use of the driveway.

Driveway entrances should be designed to reduce conflicting cross-traffic movements near the county road. Cross aisles should be located as far away from the county road as possible. Developments having more than 50,000 square feet should have at least 100 feet of driveway free of cross aisles.

### 12.08 Driveway Location

Driveways shall be located to avoid undue interference with and to prevent restriction on the free movement of normal road traffic. Driveways shall be constructed where road alignment and profile are favorable; i.e., where there are no sharp curves or steep grades, and where sight distance in conjunction with driveway access would be adequate for safe traffic operation. Driveway locations shall not be located within intersections, rotaries, interchanges, or within 200 feet of an entrance to a ramp or other portion of an interchange, or any other location which would interfere with the placement and proper functioning of road signs, signals, lighting, or other devices affecting traffic operations. Figure 11 show the minimum corner clearances and driveway spacings based on roadway type.

### 12.09 Driveway Spacing

It is County policy to limit new driveways and streets connecting with county roads in accordance with traffic safety planning. Applicants are encouraged to design for as few new entrances to a development as possible. The use of common driveways for commercial and industrial developments is favored. Adjacent driveways are required on residential lots fronting on county roads to minimize access locations, where safety would not be impaired (refer to Figure 16).

### 12.10 Number of Driveways

The number of driveways from a development which will be permitted to intersect with a county road are:

AMOUNT OF FRONTAGE ON A COUNTY ROAD	NUMBER OF DRIVEWAYS PERMITTED ON THE COUNTY ROAD	
	RESIDENTIAL	COMMERCIAL / INDUSTRIAL
Less than 200 feet	1	1
200 to 800 feet	1	2 may be permitted
More than 800 feet	1	To be determined on a case-by-case basis

### 12.11 Driveway Dimensions

Basic driveway widths (W), radii (R), corner clearances (C), distance between driveways (D), edge clearance (P), and angle (A), required for various uses in urban and rural areas are provided below. Methods of measurement are illustrated in Figure 5.

The minimum standards set forth herein are the minimum allowable for the condition stated; higher design standards should be used when conditions allow. The standards may be reduced for projects in old town areas such as Moorestown, Medford,

Marlton, Mt. Holly, etc., where (1) it is not possible to meet these standards, and (2) in the opinion of the County Engineer the driveway design is acceptable under the circumstances.

Where driveways to developments are expected to generate an unusually high amount of traffic, or peculiar conditions exist, driveway specifications different from those provided may apply. However, driveways must be designed to accommodate the design vehicle turning radii. Truck turning diagrams should be shown demonstrating that the largest design vehicle to access a driveway has sufficient width to turn into the site without encroaching on the egress lane.

BASIC DRIVEWAY DIMENSIONS	URBAN			RURAL		
	RESIDENTIAL	COMMERCIAL	INDUSTRIAL	RESIDENTIAL	COMMERCIAL	INDUSTRIAL
<b>DRIVEWAY WIDTH (W) <sup>1</sup></b>						
One-Way Drive						
Minimum	NA	18'	20'	NA	18'	20'
Maximum	NA	25'	25'	NA	25'	30'
Two-Way Drive						
Minimum	12'	24'	30'	12'	24'	30'
Maximum	20'	40'	40'	25'	40'	45'
<b>DRIVEWAY ANGLE (A)</b>						
One-Way Drive						
Minimum	60°	60°	60°	60°	60°	60°
Two-Way Drive						
Minimum	75°	75°	75°	75°	75°	75°
<b>RIGHT TURN RADIUS (R) <sup>2</sup></b>						
Minimum	5'	10'	15'	5'	20'	25'
Maximum	10'	25'	25'	15'	40'	50'
<b>EDGE CLEARANCE (P)</b>						
Minimum	R	R	R	R	R	R
<b>CORNER CLEARANCE (C)</b>						
Minimum	Refer to Figure 11			Refer to Figure 11		
<b>DRIVEWAY SEPARATION (D)</b>						
Minimum	Refer to Figure 11			Refer to Figure 11		

<sup>1</sup> Driveways that are designed to have curbed islands in the middle of the driveways shall have at least 20 feet of paved cartway on each side of the island.

<sup>2</sup> On the side of the driveway exposed to entry or exit by right-turning vehicles.

NOTE: Design standards for entrances to major subdivisions are identical to commercial driveway standards.

## 12.12 Emergency Access

Emergency access points shall be designed so as not to be readily visible and not usable by the general motoring public. Emergency access drives should be gated and signed to allow access for emergency vehicles only. Emergency access drives shall be located to allow for the safe ingress and egress of emergency vehicles. Emergency access drives must be designed in accordance with the latest version of the International Fire Code (IFC).

**12.13 Relocation and Removal of Structures and Utilities within County Right-of-Way**

A developer may remove or relocate curbs, drainage structures, guide rails, County-owned signs, traffic control devices and constituent parts in County right-of-way only with the permission of the County Engineer and at the developer’s expense. Such approval shall be conditioned on the developer providing a location and installation equally satisfactory to the County Engineer.

The applicant shall be responsible for arranging relocation of utility poles, guy wires, fire hydrants, pipes, valves, manholes, etc., located on the subject property directly with the utility. The applicant shall bear the costs of relocating utilities where relocation is necessitated by the development.

**12.14 Setback Requirements**

The setback requirements for buildings and structures along County right-of-way shall be determined by a local building, zoning and subdivision ordinances, rules and regulations, and measured from the proposed right-of-way lines of the county road. If there are no municipal setback requirements, the setback standards shall be determined by the County Engineer.

**12.15 Sight Easements**

Sight triangle easements shall be required at all existing and proposed road or street intersections with a county road and at driveways as determined to be necessary by the County Engineer. Sight triangle easements should be in accordance with AASHTO standards and be shown on plans.

After due notice served to the owner of such property, the County shall have the right to remove any obstruction to vision within the sight easement area which does not conform to the terms of this Resolution.

**12.16 Notification of Adjacent Property Owners**

If the applicant is required to make improvements within the County right-of-way, but if front of an adjacent property not owned by the applicant, the applicant will be required to notify the property owner by certified mail two (2) weeks prior to the start of construction to inform them of the work to be done.

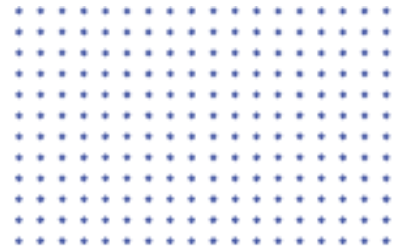
**12.17 Roadway Overlay**

Any proposed roadway improvements that involve roadway widening on county roads, shall require the entire length of property frontage to be restored by milling & paving the full roadway width (curb to curb or edge of pavement to edge of pavement) once construction has been completed. The roadway shall be restored to its pre-construction condition including, but not limited to, all striping, raised pavement markings (RPMs), and rumble strips.

**12.18 County Recycling Program Service to New Multifamily Complexes**

It is recommended that the applicant/developer of proposed multifamily complexes coordinate with the municipality and the Burlington County District Recycling Coordinator to ensure that the proposed recycling systems are consistent with Burlington County’s Recycling Program Guidelines.

# 13 STRUCTURAL DESIGN CRITERIA



## 13.01 County Road Design Standards

All construction within County right-of-way shall be governed by the current edition of the *Standard Specifications for Road and Bridge Construction* of the New Jersey Department of Transportation (NJDOT), supplements and amendments thereto. The general design standards for road construction within County right-of-way are provided below.

### DESIGN STANDARDS FOR ROAD CONSTRUCTION WITHIN COUNTY R.O.W.

ITEM	STANDARD	FIGURE NO.	REMARKS
Pavement Section	2" HMA 9.5M64, Surface Course 6" HMA 19M64, Base Course 6" DGA, Subbase	7	Subbase shall be added where subgrade condition is deemed poor or where road is being widened
Curb Line	Refer to the Burlington County Highway Master Plan	7	<a href="https://www.dvrpc.org/webmaps/bchmp/">https://www.dvrpc.org/webmaps/bchmp/</a>
Cross Slope	2% - 4%	7	2% Standard – 4% Maximum
Gutter Grade	0.5% - 6%	7 9	0.5% minimum for concrete curb 0.3% minimum for monolithic curb
Concrete Curb	6" x 8" x 18" Class B 3500 PSI Gray Concrete	8	Standard for county roads
Monolithic Curb	Class B 3500 PSI Gray Concrete	9	Required where grade is less than 0.5%. 0.3% minimum
Sidewalk	Class C 3500 PSI Gray Concrete 6" thick at driveways 4" thick otherwise	20	Width: 5' minimum width of sidewalk Location: 5' minimum from curb 8' behind edge of pavement where curb is not present

## 13.02 Traffic Control

The developer and its contractor shall be responsible for maintenance and protection of traffic during construction along or adjacent to the county road. The current edition of the *Manual on Uniform Traffic Control Devices for Streets and Highways* (MUTCD), published by the Federal Highway Administration of the United States Department of Transportation, and all amendments thereto, shall govern the maintenance and protection of traffic during construction.

Traffic control shall follow the requirements outlined in the latest version of the *Burlington County Policy, Procedures and Specifications Manual for: Road Occupancy, Road Opening, Driveway Access, Charitable Solicitation, Municipal Events*.

Construction work shall not interfere with or disrupt any County structure or facility on, over or under the county road except with the prior express authorization of the County Engineer.

### **13.03 County Road Width**

The minimum width of a county road from edge of pavement is provided in the Burlington County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>). The Ultimate half-width Right-Of-Way, measured with respect to centerline, is to be shown on the plans as provided in the Burlington County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>).

### **13.04 Special Lanes and Traffic-Control Devices**

All plans for special lanes and traffic control devices shall be reviewed and approved by the Burlington County Engineer, and NJDOT if applicable. All special lane and traffic control devices shall be designed and constructed in accordance with the current edition of the MUTCD, the current edition of *A Policy on Geometric Design of Highways and Streets* published by the American Association of State Highway and Transportation Officials (AASHTO), and all subsequent amendments thereto.

The applicant may be required to install acceleration and deceleration lanes at intersections of a development's access roads or driveways with a county road if determined necessary by the County Engineer. Acceleration and deceleration lanes shall be at least 200 feet long with 50-foot tapers on both ends. Figure 1 shows a typical acceleration and deceleration lane layout. Figure 7 shows typical cross sections for acceleration and deceleration lanes.

Acceleration and deceleration lanes within County right-of-way shall be designed and constructed in accordance with paragraph 13.01. The County Engineer shall determine the location of the curblines and the proper curb detail and pavement cross section.

### **13.05 Left Turn Lanes**

An applicant may be required to prepare plans and specifications and construct a separate left-turn lane to facilitate the safe and expeditious movement of traffic into and past the land development where the proposed development is likely to generate a significant amount of traffic or create a traffic safety hazard. Figure 2 shows a typical left-turn lane layout. The warrants and details needed for construction of a left turn/passing lane are provided below.

**ADVANCING VOLUME (VA) IN VPH REQUIRED TO WARRANT A LEFT TURN STORAGE LANE**

Opposing Volume (V <sub>O</sub> ) in VPH	40 MPH OR LESS L = % OF LEFT TURNS IN V <sub>A</sub>						45 – 50 MPH OR LESS L = % OF LEFT TURNS IN V <sub>A</sub>					
	5%	10%	15%	20%	30%	40%	5%	10%	15%	20%	30%	40%
	800	330	235	200	180	165	150	280	215	170	160	130
700	370	270	225	200	180	170	315	235	190	175	145	135
600	410	300	250	225	200	190	350	255	215	195	165	155
500	460	335	280	250	220	210	390	285	240	215	185	170
400	510	375	310	275	245	230	435	320	270	235	310	190
300	570	415	350	310	275	255	485	360	305	265	235	215
200	635	460	390	345	305	285	545	400	340	300	265	245
100	720	515	440	390	335	320	615	445	375	335	295	275

SOURCE: Highway Research Record, Number 211, Aspects of Traffic Control Devices.

NOTE: V<sub>A</sub> and V<sub>O</sub> are peak hour volumes that would occur during the same hour.

EXAMPLE: Speed limit on a two-lane County Road is 40 MPH. The advancing volume (V<sub>A</sub>) is 250 VPH with 20% of this number expected to turn left. What is the minimum opposing volume (V<sub>O</sub>) in VPH needed to warrant a left turn/passing lane? From the chart above use the column under “40 MPH or Less” and “20%”. Go down that column until coming to V<sub>A</sub> = 250 VPH, then advance to the left on the same line to determine the minimum opposing volume of 500 VPH that would warrant a left turn/passing lane.

**13.06 Paved Shoulders**

Applicants proposing major developments, including major subdivisions with lots on a county road may be required to install paved shoulder to 20 feet from the centerline of a county road along the entire frontage in accordance with Figure 3. This requirement is intended to eliminate maintenance and safety problems along county roads resulting from development of the parcel. The pavement section for the paved shoulder will be the same as that used for normal road widening for acceleration or deceleration lanes.

**13.07 Passing Lanes**

A passing lane is a paved shoulder on the side of the county road opposite the development entrance. It is needed on high-speed/high-volume roadways to move through-traffic around left-turning vehicles without disrupting the flow of traffic and is used on entrances to developments that do not meet the normal warrants for a separate left-turn lane. It may also be required by the County Engineer when safety and capacity of the county road would be reduced by the development entrance. The paved shoulder shall extend not less than 200 feet on either side of the development entrance centerline, and shall be of such width as to provide a paved surface 20 feet from the centerline of the road (refer to Figure 4).

### 13.08 Jughandles

A developer may be required to dedicate right-of-way, prepare plans and specifications and construct a jughandle to facilitate the safe and expeditious movement of traffic into a proposed land development where the development may be expected to generate a significant amount of traffic or create a traffic safety hazard warranting its installation.

### 13.09 Sign and Pavement Markers

To facilitate the safe and efficient movement of traffic into and out of a land development, an applicant may be required to install specified guide, regulatory or warning signs or pavement markings at designated locations on the site or in County right-of-way. Such signs and pavement markings shall be in accordance with the current edition of the MUTCD.

Marked crosswalks where existing and proposed driveways enter the county road may be required at locations recommended by the Planning Board Engineer. Crosswalk markings shall consist of crosshatches measuring eight feet (8') long by 2 feet (2') wide spaced 6 feet (6') on center.

No unapproved advertising sign, device or marking shall be erected on or overhang County right-of-way. Advertising signs which revolve, move, flash, or give the illusion of movement shall be prohibited within 25 feet of existing or proposed right-of-way.

Signs designating the exit and entranceways to land developments may be placed in County right-of-way if such signs and positions have been approved by the County Engineer.

No person shall place, maintain or display upon or in view of any highway, any unauthorized traffic sign, device or other contrivance which purports to be or is an imitation of or of such a nature as to be mistaken for an official traffic sign or which attempts to direct the movement of traffic or which hides from view or interferes with the effectiveness of any official traffic sign and no person shall place or maintain, nor shall any public authority permit upon any highway, any traffic sign or signal bearing thereon or its support, any commercial advertising.

*Nothing herein shall be deemed to prohibit the erection upon private property adjacent to highways of signs giving useful directional information of a type that cannot be mistaken for official signs.*

### 13.10 Traffic Signals/Control Devices

The County Traffic Engineer has plans of all signalized County intersections which will be made available to developers and their consultants. Plans for modifications to existing signalized intersections shall be done by the County Traffic Engineer at the request of the developer. Neither installation of new traffic control equipment nor modification to existing traffic control equipment shall be made without the prior approval of the County Traffic Engineer.

If a land development necessitates relocation of an existing County-owned traffic-control device (not a signal), the County Engineer may designate an adequate site to which the sign may be relocated. The developer shall bear the expense of relocating such signs.

The Burlington County Engineer may permit the relocation of existing County-owned traffic signals, pull boxes, conduits, cabinets, and other constituent parts of traffic signals, electrical sign installations, and electrically illuminated signs provided a satisfactory site can be provided. The developer shall bear the expense of relocating such equipment.

Changes to existing striping of “no passing zones” on county roads requires New Jersey Department of Transportation approval. Once the striping plan is approved by the Planning Board, the applicant shall submit a mylar of the striping plan to the County Traffic Engineer for his/her review and approval. They shall transmit the plan to the New Jersey Department of Transportation for approval.

### **13.11 Traffic Signals**

An applicant may be required to post a performance guarantee to cover all or a portion of the cost of designing and constructing a traffic signal where a traffic signal may be warranted in the future by the applicant’s development alone or when traffic impacts of the development, considered with the traffic impacts of other projected developments, may warrant a traffic signal. This performance guarantee shall be separate from performance guarantees posted by the applicant for other required improvements and shall remain in effect for five (5) years from the date of the first occupancy within the development.

A traffic signal may be warranted when developments will generate a significant amount of traffic, create a traffic safety hazard or other situation warranting the installation of a traffic signal. If, in accordance with Chapter 15, a developer is determined to be responsible for less than half the cost of constructing or relocating a traffic signal, the County or another developer shall be responsible for designing a signalized intersection, unless otherwise determined to be appropriate by the Burlington County Engineer and Burlington County Planning Board.

If a traffic signal is warranted during the five (5) year period after the date of first occupancy of the developer’s development, the County may require the applicant to prepare plans and specifications for approval by the County Engineer and the Department of Transportation, and to construct the traffic signal, subject to the supervision of the County Engineer. Alternatively, in lieu of requiring the applicant to construct the traffic signal, the County may apply the performance guarantee submitted by the applicant to the cost of constructing the traffic signal to satisfy the applicant’s required dedication, as determined pursuant to paragraph 15.23. All traffic signals shall meet the warrants as specified in the current edition of the MUTCD.

### **13.12 Traffic Control Islands**

Where a land development is expected to generate a large amount of traffic or pose a traffic safety hazard, the County Engineer may recommend that the applicant prepare plans and specifications and construct a traffic control island to facilitate the safe and expeditious movement of traffic into and out of the development. All such islands shall be designed, signed, illuminated and marked in accordance with current edition of the MUTCD and the current edition of AASHTO’s *A Policy on Geometric Design of Highways and Streets*, as amended, Federal ADA Guidelines, and shall be approved by the County Engineer and/or NJDOT.

The relocation, extension, reduction, or elimination of an existing traffic control island may be approved at the applicant’s expense if such work is approved by the County Engineer and/or NJDOT.

### **13.13 Intersection Location**

There shall be unobstructed visibility along both roads at an intersection and across their included corners for distances sufficient to allow drivers along the roads to see each other in time to prevent a collision. Proposed intersections of a local road or driveway with a county road shall be located to maximize sight distances along the county road.

At the discretion of the County Engineer, stopping sight distance standards applied to vehicles traveling on the county road, approaching vehicles slowing or stopped at the new driveway or new road or street, may be considered in determining the appropriate location of a new driveway or new road or street. Stopping sight distance will be based on guidelines contained in the current edition of AASHTO's *A Policy on Geometric Design of Highways and Streets* for the posted speed limit on the county road, or the 85<sup>th</sup> percentile speed, at the discretion of the County Engineer. Stopping sight distance requirements are not to be applied in place of intersection requirements. Rather, stopping sight distance requirements shall be used as a supplement to intersection sight distance requirements as determined to be necessary by the County Engineer.

### **13.14 Road and Driveway Sight Distances**

New roads, streets, and driveways shall be located to provide an unobstructed line of sight for Intersection Sight Distance as established by following the horizontal and vertical measurements outlined in the current edition of AASHTO's *A Policy on Geometric Design of Highways and Streets*.

New roads or streets shall be located to provide adequate sight distance for drivers to safely turn left from the county road into the road or street. An unobstructed line of sight for drivers turning left into the new road or street shall be provided for Intersection Sight Distance as established by following the horizontal and vertical measurements outlined in the current edition of *A Policy on Geometric Design of Highways and Streets* published by the American Association of State Highway and Transportation Officials (AASHTO).

Expanded or redeveloped sites that access an existing street or driveway will also be required to meet the requirements prescribed herein. Where the sight line criteria cannot be met, and the applicant is unable to remove the line-of-sight obstruction, certain turning movements at the intersection may be prohibited.

### **13.15 Intersection Right-of-Way Radii**

At intersections where either or both roads are within the county road system, the radii of the right-of-way lines shall be a minimum of 25ft radius normal to the intersecting right-of-way lines. Radii beyond this minimum may be recommended by the Planning Board Engineer.

### **13.16 Angle at Intersections**

Streets, roads and driveways connecting with any road in the county road system shall be at right angles wherever possible, and intersections of less than 75 degrees (measured at the center line of streets) shall not be permitted.

### **13.17 Road and Driveway Alignments**

In the spacing of streets and driveways, consideration will be given to the location of existing intersections and driveways on both sides of the development. Streets and driveways which connect with the county road system from opposite sides of a county road shall not be offset, except where conditions prevent any other alignment. If conditions require the streets to be offset, they shall be separated by at least 175 feet between their curblines.

### **13.18 Road and Driveway Grading**

The minimum practical grades on the approaches to intersections of streets with county roads shall be maintained.

### **13.19 Sidewalk**

Sidewalks are desirable along all county roads. An applicant shall be required to install sidewalks, landscaping and uniform grading as a condition of approval.

### **13.20 Sidewalk Specifications**

Sidewalks shall be constructed with gray, Class C, air-entrained, Portland cement concrete, having a strength of 3,500 P.S.I., unless the municipality dictates otherwise. Class C requires a 1:2:4 mix: one (1) part Portland Cement, two (2) parts sand, and four (4) parts crushed stone or washed gravel. The sidewalk shall be constructed to a thickness of not less than four inches (4"). Where the sidewalk crosses over a driveway, it shall be six-inch (6") reinforced concrete.

### **13.21 Sidewalk Alignment and Grade**

Alignment and grade are to be determined by the established or existing grade in the area and is subject to Planning Board Engineer approval.

### **13.22 Sidewalk Expansion Joints**

One-half-inch (1/2") wide transverse expansion joints shall be provided at intervals of not more than 20 feet and filled with prefabricated bituminous cellular-type joint filler.

### **13.23 Sidewalk Control Joints**

One-quarter inch (1/4") longitudinal joints shall be provided between curbs and abutting sidewalks and shall be filled with premolded bituminous cellular type joint filler.

### **13.24 Sidewalk Slope**

The standard slope of sidewalk or sidewalk area shall be one-quarter inch (1/4") per foot, rising from the top of the curb.

### **13.25 Sidewalk Surface**

Transverse surface grooves shall be cut in sidewalks between expansion joints at intervals equal to the sidewalk width.

The sidewalk finish shall be made with a wood float, followed by brushing with a wet soft-hair brush to a neat and workmanlike surface. All edges shall be neatly rounded to one-quarter inch (1/4") radius.

### **13.26 Sidewalk Dimensions**

The minimum width of a sidewalk shall be five feet (5'). The sidewalk shall be separated from the curbline by not less than a five-foot (5') minimum grass strip; an eight-foot (8') grass strip is preferable. Where curb is not present, the sidewalk shall be eight feet (8') behind the edge of pavement.

### **13.27 Sidewalk at Driveways**

Sufficient spot elevations for curb ramps and sidewalk at existing and proposed driveways shall be provided to demonstrate no more than 2% cross slope and no more than 12H:1V longitudinal slope. See Figure 1 for required information.

Should the sidewalk be so close to the curb at a depressed curb driveway as to cause the ramp to be likely to cause undercarriage drag, the sidewalk shall be appropriately lowered to provide a suitable ramp gradient.

### **13.28 Curbing**

Residential, commercial and industrial developments may be required to install concrete curbs along the entire property frontage of the county road. Curbing shall be located and constructed in accordance with standards and specifications set forth by the Burlington County Engineer. See Figures 7, 8, and 9 for specifications and details.

### **13.29 Curbing, Off-Site**

The developer may be required to extend curbing a reasonable distance beyond his/her frontage to provide traffic safety and capacity or adequate drainage flow.

### **13.30 Curbing Specification**

All new curbing in County right-of-way shall be gray concrete, Class B, 3,500 PSI (or applicable NJDOT standard specification). Where the curbing being replaced is white, the Planning Board Engineer shall determine whether new concrete should be white or gray. Curbs shall be 6" x 8" x 18".

### **13.31 Concrete Apron and Island Specification**

All new concrete aprons and channelized island paving in County right-of-way shall be white concrete, Class B, 3,500 PSI. Where existing concrete is gray the Planning Board Engineer shall determine whether new concrete should be white or gray. Concrete aprons shall be six-inch (6") reinforced (6" x 6" wire mesh). Channelized island paving shall be four-inch (4") concrete.

### **13.32 Paving along Frontage**

Commercial and industrial site plan developments shall install, and major subdivisions may be required to install, paving in the area between the edge of existing pavement and proposed curb line along county roads. Such paving shall be in accordance with standards and specifications as set forth by the Planning Board Engineer (refer to Figure 7).

### **13.33 Pavement Restoration**

Any proposed roadway improvements, which consist of roadway widening, and all major subdivisions on county roads shall require the entire length of property frontage to be restored by milling & paving the full roadway width (curb to curb) once construction has been completed. This includes restoring the roadway to its pre-construction condition: all striping, raised pavement markings, and rumble strips are to be restored.

### **13.34 Bituminous Concrete Specifications**

All bituminous concrete laid in County right-of-way shall be constructed in accordance with paragraph 13.01.

### **13.35 Driveway Surface**

The surface of any driveway subject to County site plan approval within County right-of-way shall be constructed with a permanent pavement of a type specified by the County Engineer. Paving shall extend from the curblines to at least 20 feet back from the curblines. Residential driveways shall be paved in accordance with Figure 15. All other driveways shall be paved in accordance with paragraph 13.01.

### **13.36 Driveway Profiles**

All vertical curves on a driveway shall be flat enough to prevent the dragging of any vehicle undercarriage. The maximum permitted gradients for driveways are shown in Figure 12. The profile dimensions given beyond the sidewalk are maximum for grades and minimum for grade lengths.

### **13.37 Inlets**

On curbed roads, Type B inlets with Type N Eco grates shall be provided along county roads at 400' intervals. Where curb along a county road is provided or otherwise waived, Type B inlets with Type N Eco grates, set back five feet (5') from the edge of pavement with additional pavement to the new inlet, are to be installed with vertical curb tapers on each side of the inlet.

Where the subdivision road intersects the county road, gutter drainage along the county road must be intercepted by stormwater inlets on the upstream side of a new road or driveway to prevent stormwater from crossing the intersection.

If an existing storm sewer inlet needs to be relocated to allow for pavement widening, a modified inlet may be used if the offset of the new inlet grate is three feet (3') or less. If the offset is greater than three feet (3'), the existing inlet must be converted to a manhole and a new inlet must be constructed at the new edge of pavement. Stormwater is to be relayed from the new inlet to the manhole with appropriately designed and sized reinforced concrete pipe.

### **13.38 Drainage Ditches**

If the depth of the ditch is not adequate to provide for one foot (1') of cover over the pipe, a valley gutter shall be provided to ensure proper drainage flow.

### **13.39 Driveway Grades**

Driveway and street grades shall be designed to not interfere with normal roadway drainage unless adequate additional drainage facilities or other necessary facilities are provided for.

### **13.40 Depressed Curb at Driveway**

Where existing curbs must be depressed for the purpose of constructing entrance drives, the standard section curb shall be entirely removed and depressed curb constructed in accordance with Figure 10. New depressed curb shall be constructed in accordance with specifications shown in Figure 10, at locations recommended by the Planning Board Engineer.

### **13.41 Driveway Turnaround**

Where a single residential lot will have access to the county road, a driveway with a turnaround area shall be provided.

### **13.42 Guide Rail**

Warrants for guiderail installation shall be based on and the latest edition of the New Jersey Department of Transportation (NJDOT) Roadway Design Manual and NJDOT Standards. Length of need calculations, post spacing, fixed object treatment, guiderail materials and end treatments, etc. shall be in accordance with New Jersey Department of Transportation standards and as more specifically directed by the County Engineer.

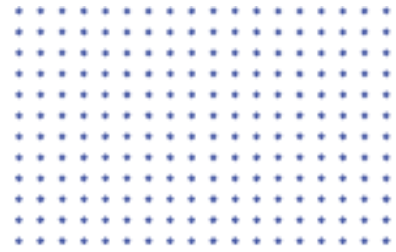
### **13.43 Construction Entrances**

All construction entrances must be shown on the soil and sediment control plan. The number of entrances along the county road shall be kept to a minimum and should be located where permanent entrance roads or driveways will exist after the development is complete.

All construction entrances on county roads that will be used for longer than one (1) year shall be paved during the first six (6) months in accordance with Figure 14.

All construction entrances that will serve as access to sales trailer or samples shall be paved prior to occupancy of the sales trailer or samples in accordance with Figure 14.

# 14 DRAINAGE DESIGN CRITERIA



## 14.01

The drainage design criteria herein are intended to prevent an increase in the stormwater run-off rate after construction of a development. Where an applicant demonstrates to the satisfaction of the Planning Board or the Land Development Review Committee that the criteria herein would impose an unreasonable hardship, they may be waived or modified. Approaches other than those suggested herein may be used provided the applicant demonstrates that they clearly will accomplish the purposes set forth in this Resolution.

## 14.02

The Planning Board Engineer shall establish design requirements for land developments to prevent the creation of adverse drainage conditions to county roads or drainage facilities, minimize the need for future maintenance, and to prevent risk of flooding and the inundation, silting, erosion and undermining of county roads and facilities from new developments. In cooperation with the New Jersey Department of Environmental Protection, County review shall include consideration of stream encroachment, wetlands, and floodplain protection.

## 14.03

If a development is likely to increase the amount of stormwater drainage onto a county road, the applicant shall be required to install such storm drainage facilities at its own expense as will be needed to accommodate the increase. Improvements which may be required include, but are not limited to, the reconstruction of existing storm drainage facilities and construction of new facilities.

## 14.04

County drainage rights and easements appurtenant to a county road shall not be impaired. Where an applicant conveys land for right-of-way to the county, the County Planning Board may require the applicant to convey to the county the right to drain all the road on the remaining lands of the grantor.

## 14.05

Where a proposed development includes plans for a driveway, acceleration or deceleration lane, shoulder or other facility adjacent to or connecting with county right-of-way, the applicant shall include plans for the installation of drainage facilities in the county road in accordance with the standards set by the County Engineer.

**14.06**

The applicant shall submit drainage calculations to the Planning Board Engineer for all proposed drainage facilities. Calculations shall include, at a minimum, specific reference to roughness coefficients for pipes, streams and swales; the method of determining the runoff coefficient and time of concentrations, separate runoff coefficient for each individual drainage area, and a drainage area map showing the area used in calculations. The Planning Board Engineer may require additional information if deemed necessary.

**14.07**

Where property adjacent to a highway is to be filled to highway grade, the applicant may be required to install drainage pipe of adequate size and material, catch basins, manholes, headwalls, and ditches and to take such other measures as may be necessary to protect the County’s drainage rights and adequately provide for highway drainage.

**14.08**

The following laws may be applicable to a development and are administered by local, federal, and state agencies. It is the applicant’s responsibility to determine the applicability of these and other laws and to file all prescribed applications and to conform with all pertinent rules and regulations of laws applicable to the development.

*Coastal Area Facility Review Act – (N.J.S.A. 13:19-1 et seq.)*

Requires a permit for the construction of “facilities” in a “coastal area” defined by the act.

*County Planning Enabling Act – (N.J.S.A. 40:27-1 et seq.)*

Requires consideration of drainage and traffic safety impacts of a proposed development relating to county roads and drainage and traffic facilities.

*Dam & Reservoir Law – (N.J.S.A. 58:4)*

Administered by New Jersey Department of Environmental Protection, governs the construction of certain reservoirs and dams.

*Federal Water Pollution Control Act, 1972 Amendment – (33 U.S.C. 1251, et seq.)*

Regulates discharges of pollutants.

*Flood Disaster Protection Act of 1973*

This act requires conformance with flood insurance regulations for Federal mortgage insurance purposes.

*Flood Hazard Area Control Act – (N.J.S.A. 58:16A-50 et seq.)*

Pertains to regulation of flood hazard areas and stream encroachments.

*Municipal Floodplain Ordinance*

Developments shall conform with applicable local floodplain restrictions.

*Municipal Land Use Law – (N.J.S.A. 40:55D-1 et seq.)*

Pertains to procedures and scope of municipal planning laws.

*Riparian Rights Law – (N.J.S.A. 12:3-1 et seq.)*

Provisions pertaining to riparian land – those lands now or formerly flowed by the tides.

*Solid Waste Management Act – (N.J.S.A. 13:1E-1 et seq.)*

Governs the procedures for locating, operating and maintaining solid waste facilities.

*Water Pollution Control Act – (N.J.S.A. 58:10A-1 et seq.)*

Authorizes the Department of Environmental Protection to adopt codes, rules and regulations to prevent, control or abate water pollution; establishes New Jersey Pollutant Discharge Elimination System.

*Water Quality Planning Act – (N.J.S.A. 58:11A-1 et seq.)*

Requires that projects and activities affecting water quality in a planning area be developed and conducted in a manner consistent with an area-wide waste treatment management plan.

*Water Supply Management Act – (N.J.S.A. 58:1A-1 et seq.)*

Pertains to water diversion, control, conservation and management and provisions for water emergencies.

*Wetlands Act of 1970 – (N.J.S.A. 13:9A-1 et seq.) and Freshwater Wetlands Protection Act (N.J.S.A. 13:9B-1 et seq.)*

Requires wetland permits, freshwater wetlands permit and compliance with transition area requirements under certain conditions.

## **Basic Drainage Criteria**

### **14.09**

The applicant’s plans shall comply with provisions specified in this Resolution pertaining to county roads and drainage facilities. The objective of the drainage design criteria contained herein is to provide for safe and adequate drainage, flood and soil erosion control in watersheds, land developments, roadway storm drainage, and erosion and sediment control.

CATEGORY	CRITERIA REFERENCE
Watersheds	N.J. Special Report 38
Land Development	County, municipal and, where applicable, Pinelands standards.
Roadway Storm	NJDOT, Burlington County and, where applicable, Pinelands standards.
Erosion and Sediment Control	Standards for Soil Erosion and Sediment Control in New Jersey

### 14.10

The following references are incorporated herein as part of these standards.

REFERENCE	SOURCE
New Jersey Special Report 38	U.S. Geological Survey, Trenton, New Jersey
Standards for Soil Erosion and Sediment Control in New Jersey	New Jersey State Soil Conservation Committee
Standard Details Conforming to the Standard Specifications	New Jersey Department of Transportation, Trenton, New Jersey
Standard Specifications for Road and Bridge Construction, with supplements	New Jersey Department of Transportation, Trenton, New Jersey
ASCE Manual 37	American Society of Civil Engineers, New York, New York
Design of Storm Sewers Design of Culverts No. 13 Design of Open Channels No. 3	U.S. Department of Transportation, Washington, D.C.
Soil Survey, Burlington County, N.J.	United States Department of Agriculture & New Jersey Agricultural Experiment Station, Mt. Holly, New Jersey
Technical Release #55	U.S. Department of Agriculture, Soil Conservation Service.
Technical Manual for Stream Encroachment	Bureau of Floodplain Management, New Jersey Dept. of Environmental Protection

### 14.11 Watershed – Drainage Methods

Major watershed criteria shall be utilized in the design of construction and encroachments in flowing streams whenever the drainage area is one-half (1/2) square mile or larger. For watersheds of one-half (1/2) to one (1) square mile the Rational Method may be used. For watersheds in excess of one (1) square mile, Special Report No. 38 shall be used to compute design discharge. SCS Method may be used for watersheds with a drainage area of less than five (5) square miles.

### 14.12

The New Jersey Department of Environmental Protection Division of Water Resources' standards for storm discharge from drainage areas where an encroachment upon a stream is involved shall apply. The State's criteria for 100-year Flood Frequency shall be applied where appropriate.

### 14.13 Land Development Design Methods

Designs applying calculations meeting the criteria and standards set forth herein shall be given consideration, regardless of method. Computer methods, the Soil Conservation Service method, and the Rational Formula are acceptable methods (except for developments in the Pinelands Area where only the S.C.S. method may be used).

### 14.14

The applicant's use of runoff coefficients, rainfall intensity factors, friction factors and soil factors will be analyzed and reviewed.

### 14.15 Retention Basins, Detention Basins and Floodplain Storage

Where not in conflict with municipal regulations, the specifications herein shall apply to all land developments. Higher municipal standards shall control these standards. Development design shall satisfy the following objectives and measures:

- a) Maintenance of floodplain storage along existing waterways;
- b) Provision of detention basins with outlet flow control or additional floodplain storage to prevent increase in peak rates of outflow after development;
- c) In cases where an existing waterway traverses a tract of land to be developed, the volume of flood waters stored in the waterway and the related floodplain between the normal low water elevation and the flood elevation shall be no less after development than prior to development unless a proper plan of flood flow storage or discharge is presented and approved by the County Engineer;
- d) Where possible, maintenance of floodplain storage volume shall be accomplished by leaving the floodplain area undisturbed;
- e) If a disturbance of the floodplain area cannot be avoided and that disturbance reduces the flood water storage capacity, additional floodplain storage volume shall be provided elsewhere along the stream to fully compensate for such reduction, subject to the approval by the New Jersey Department of Environmental Protection;
- f) Where peak flow reduction is to be accomplished by provision of a detention basin, the peak rate of outflow permitted shall be that occurring prior to development, using the pre-development time of concentration;
- g) The rates and volumes of in flow shall be based on assumptions similar to those used in the Rational Formula, and the duration of storm used to determine such rates and volumes shall be that which will require maximum storage. In general, the duration of the critical storm will be appreciably greater than the time of concentration of flow into the basin;
- h) A suitable method of flood routing shall be used to demonstrate that the storage being provided is adequate and, where additional floodplain storage is to be provided, to offset an increase in peak runoff caused by development. Routing shall be based upon inlet structure or the downstream flow characteristics of the channel, whichever controls the characteristics of the storage to be provided, and inflows from inflow hydrograph as determined in "(g)"

above for detention basins or storage area. In general, storage shall be provided so that it commences before the outflow rate exceeds 25% of the peak outflow rate permitted from the start of the outflow to the time when the peak rate is reached;

- i) Basins shall be designed with at least one (1) foot of freeboard and provisions for overflow. The recommendations of the Standards for Soil Erosion and Sediment Control in New Jersey and proper soil investigation and analysis shall be the minimum specification for earth work;
- j) Retention/detention basins shall be designed, and maintenance responsibility planned, for the purpose of avoiding objectionable or unsightly appearance;
- k) Design Storm Frequency shall not be less than what is required in NJAC 7:8, Stormwater Management and NJ Stormwater Best Management Practices Manual;
- l) An in-depth routing analysis of the effects of a detention basin shall be submitted if the County Engineer determines that it is needed. The applicant shall furnish engineering computations and analysis used in such a study. Preliminary design may be used in lieu of detailed computations, but detailed data shall be required before final approval will be given;
- m) Coefficient of runoff values (“C”) shall be provided in accordance with NJAC 7:8 and NJ Stormwater Best Management Practices Manual;
- n) When calculating the predeveloped runoff for the SCS methods the “good” value for the CN number shall be used for farmland;
- o) Compensating storage may consist of (singly, or in combination): paved, unpaved, marsh, or wooded areas, building roofs and parking lots;
- p) In the Pinelands Area floodplain storage shall not be utilized in the design of detention/retention basins;
- q) In all cases where a retention basin, recharge basin, seepage pit, or other similar drainage facility is used to retain stormwater runoff on the site, at least one (1) soil boring and percolation test shall be made at the location of each facility. The soil boring shall be at least ten feet (10’) deep. The boring and percolation test shall be made at a time when the ground water table is at or near its highest point and test results shall be certified by a professional engineer. If the boring cannot be made at a time of seasonal high water, the location of seasonal high water shall be specified; and
- r) The bottom of a retention/recharge basin shall be at least two (2) feet above the seasonal high-water table as determined in the soil boring. The percolation test shall be performed at the elevation of the bottom of the basin, and the results shall be at least 1 inch in 20 minutes or better. If the percolation rate is slower than 1 inch in 20 minutes remedial work shall be performed to increase the rate of percolation. Remedial measures include, but are not limited to, undercutting the bottom of a basin and backfilling with granular materials and constructing stone trenches in the bottom of the basin.

## On-site Detention/Retention

### 14.16

Developments that create more than one (1) acre of new impervious cover shall provide on-site detention/retention.

Developments creating less than one (1) acre of new impervious cover shall be required to provide on-site detention/retention if the drainage system downstream is at or near capacity, is inadequate or known to have problems, or if the development is in the upper reaches of a watershed.

### 14.17

Any applicant not believing that on-site detention or retention is required shall bear the burden of demonstrating that there is no need for it by clear and convincing evidence. The Planning Board Engineer may require that any applicant not wanting to provide on-site detention/retention analyze the downstream drainage systems for its capacity to carry the developed flow. If the Planning Board Engineer believes that on-site detention/retention is required notwithstanding the applicant's analysis of downstream drainage system capacity, the applicant may appeal to the Land Development Review Committee and present his/her evidence at the time the Committee considers the application or at such other time as determined by the Committee.

### 14.18

Developments creating more than one (1) acre of new impervious cover shall not be required to provide on-site detention/retention if the applicant shows that the development is on or near a mainstream channel such as the Rancocas, Pennsauken, Assiscunk, Parker's Creeks, or the channel is under tidal control at the drainage outfall, and that the existing County structures downstream are adequately sized and will not be impacted by expected increased runoff. The applicant shall submit engineering calculations to prove there is adequate capacity and that the development will not create an adverse impact. The applicant shall submit engineering calculations to demonstrate that the stormwater impact of the development is within Weston's guidelines in *Stormwater Management Design: A Manual of Procedures and Guidelines*, or another recognized guideline for stormwater management.

### 14.19

If on-site detention is not proposed for a development, the applicant shall submit an engineer's report stating that the development satisfies the criteria set forth in paragraph 14.18.

## Open Channels

### 14.20

All channels and storm sewers shall carry the maximum discharge for which they are designed and minimize the deposition of transported suspended solids. Applicants shall comply with the following specifications concerning open channels:

- a) Channels for conducting storm flows shall provide for design storm frequency in accordance with NJAC 7:8 and *NJ Stormwater Best Management Practices Manual*.
- b) Open channels shall be designed to provide stable soil side slopes in accordance with NJAC 7:8 and *NJ Stormwater Best Management Practices Manual*.
- c) Channel design shall include suitable vegetative cover.
- d) Measures shall be taken to prevent erosion during construction. See Standards for Soil Erosion and Sediment Control.
- e) The Manning Formula may be used in designing open channels. Recommended roughness coefficients (“n”) for concrete lined channels are .015 - .025. For natural vegetative channels, “n” varies from .03 to .14.
- f) The applicant shall control stream bank erosion aggravated by velocity problems associated with the more frequent (1 to 5 years) Flood Event.
- g) The applicant shall comply with National Flood Insurance (100-year event) criteria in locating buildings.

### 14.21 Pinelands Area

Neither development of a parcel nor construction of a road pursuant to a development shall result in an increase in the volume and rate of runoff generated from the parcel by a 50-year storm of a 24-hour duration as calculated in accordance with the U.S. Soil Conservation Service Technical Release No. 55 or the S.C.S. National Engineering Handbook, Section 4. Surface water runoff from impervious surfaces shall be retained to facilitate infiltration into the ground water. Retention (recharge) basins designed to store the difference between developed and undeveloped runoff in the 50-year, 24-hour storm shall also be designed to store the total runoff from a 25-year, 24-hour storm. Type C inlets, dry wells, stone trenches or other type of detention/retention facility shall be constructed to prevent increased runoff from roadway construction.

### 14.22 Roadway Storm Drainage Criteria

For small road projects, parking areas, and industrial and commercial centers connecting into County drainage facilities, the five-year design storm frequency criteria shall be used. These criteria conform to the New Jersey Department of Transportation and Burlington County Engineer’s standards and method of calculations for roadway drainage.

# Storm Sewer Systems on County Roads

## 14.23

Inlet spacings shall not exceed 400' or a design flow of 6.0 cfs, whichever condition shall be more stringent. Access manholes shall be spaced at not greater than 400-ft intervals through rights-of-way and at sewer junctions where there are no catch basins.

## 14.24

Sewers shall be designed using the Manning Formula for flow in pipes. Minimum design velocity flowing full shall be the cleaning velocity of the pipe. Roughness coefficients (“n”) for pipes shall be in accordance with NJAC 7:8 and *NJ Stormwater Best Management Practices Manual*. The five-year design storm frequency shall be used in the design of storm sewers on line. In addition, a ten-year design storm frequency at low points with overland relief shall be used, and a 25-year design storm frequency at low points without overland relief. The hydraulic grade line in the County storm sewer system must be kept at least one (1) foot below the inlet grate elevation.

## 14.25

“Dish” type intersections or rocker gutters crossing county roads are not allowed. Sufficient catch basins shall be installed at each street intersection to avoid gutter overflow at low points in the street grade.

## 14.26

Pipe shall be circular reinforced concrete pipe, Class III, Wall B, minimum 15” I.D. unless otherwise approved by the County Engineer, and laid with not less than two-foot depth of cover over the top of pipe. If depth of cover is less than two (2) feet but more than one (1) foot over the top of the pipe, Class IV reinforced concrete pipe may be used. If depth of cover is less than one (1) foot, then ductile iron pipe (DIP) is acceptable down to six inches (6”) of cover.

## 14.27

The inlet curb piece shall be the same size as the curb face unless otherwise directed by the County Engineer. Manhole and inlet castings shall conform with New Jersey State Standards.

## 14.28

For pipes less than 48 inches in diameter, all transitions in slopes, horizontal direction, junctions and changes in pipe size shall be confined to manholes, catch basins, or other accessible structures designed for one (1) or more of these purposes. In 48-inch and larger pipe lines vertical and horizontal deflections may be accomplished using 100ft or larger radius curves.

## 14.29

Capacity of inlets in sumps must be known in order to determine the depth and width of ponding in the street. For ordinary design, a grate inlet in a gutter can be considered as an orifice of area equal to the clear openings in the grate with a coefficient of discharge equal to 0.6. The capacity of an unclogged grate inlet in a sump is:

$$Q = 0.6A (2gh)^{1/2}$$

where Q = capacity in cfs.

A = area of clear opening in square feet

g = gravitational acceleration in feet per second (32.2 ft./sec./sec.)

h = head in feet

For Type "E" Inlets, A = 6.0 square feet

For Type "A" Inlets, A = 3.0 square feet

A curb opening inlet can be considered as a rectangular weir whose capacity is:

$$Q_c = 3.0(h)(L)$$

where  $Q_c$  = capacity in cfs.

h = head in feet

L = length of curb opening in feet.

## 14.30

Ends of pipe starting or terminating in an open ditch shall have suitable headwalls and rip-rap. Flared end sections and other protective treatment may be considered in specific cases such as parallel ditches to the roadway.

## 14.31

Type B inlets shall be required at points along the curblines to ensure that drainage flow does not exceed six (6) cfs. Inlets shall also be placed at low points along the curblines.

## New Culverts and Bridges

### 14.32

The County shall not be responsible for the future maintenance of a culvert or bridge on a new public road within a development unless the bridge or culvert has been approved by the Board of County Commissioners and the drainage basin upstream of the proposed bridge or culvert exceeds one-half (1/2) square mile (320 acres) in area and pipe diameter exceeds 48" or equivalent area.

**14.33**

Plans for culverts and bridges will not be considered unless they are accompanied by evidence of submission, and the approval or waiver, where applicable, of the following:

- a) Stream Encroachment Permit – New Jersey Department of Environmental Protection – Division of Coastal Resources;
- b) Water Quality Certificate – New Jersey Department of Environmental Protection, Division of Water Resources (or Division of Coastal Resources where a Waterfront Development permit is required);
- c) Wetlands Permit – New Jersey Department of Environmental Protection, Division of Coastal Resources;
- d) Tidelands Grant, Lease or License – New Jersey Department of Environmental Protection, Division of Coastal Resources;
- e) Archeological Certification – New Jersey Department of Environmental Protection;
- f) CAFRA Permit (Coastal Facilities) – New Jersey Department of Environmental Protection, Division of Coastal Resources;
- g) Water Quality Certificate – Delaware River Basin Commission;
- h) U.S. Coast Guard (Governor’s Island, N.J. & Washington D.C.);
- i) U.S. Army Corps of Engineers – Philadelphia District;
- j) Floodway Permit – New Jersey Department of Environmental Protection, Division of Water Resources;
- k) Waterfront Development Permit – New Jersey Department of Environmental Protection, Division of Coastal Resources.

The applicant shall demonstrate that the structure is designed to carry A.A.S.H.O. HS20-44 loading.

**14.34**

Culverts shall be the full width of road right-of-way except for those portions necessary for headwalls, guide rails, slopes, and parallel ditches. Bridges and box culverts shall be of the width specified by the County Engineer.

**14.35**

Plans and specifications of the proposed structure shall be submitted to, reviewed and approved by the County Engineer. The County Engineer shall be notified 48 hours in advance of the commencement of construction so that periodic inspections can be made. The County shall not be responsible for maintenance of a new culvert or bridge unless the County Engineer and the Municipal Engineer certify that the construction is in accordance with the approved plans and specifications.

## Existing Culverts

### 14.36

In the event that a county road must be widened as a consequence of a land development, the applicant's frontage includes both sides of the stream, and the existing structure has adequate waterway area and is not scheduled for early replacement by reason of structural inadequacy, the applicant shall lengthen a culvert having a span of 48 inches or less to the full width of the proposed right-of-way except for those portions necessary for headwalls, guide rails and slopes. Widening of bridges or box culverts shall be accomplished in accordance with County Engineer requirements.

### 14.37

If a developer's property fronts on only one side of a county road and a culvert or bridge must be lengthened as a consequence of the land development, the culvert or bridge shall be lengthened on the developer's side of the road from the centerline of the road to the full width of right-of-way in accordance with the County Engineer's requirements, except for those portions necessary for headwalls, guide rails and slopes.

### 14.38

Plans for the proposed work shall be approved by the New Jersey Department of Environmental Protection, Division of Coastal Resources. The developer shall post the guarantee specified by the County Engineer to ensure the satisfactory completion of the work.

### 14.39

Prior to commencement of construction, the developer shall obtain a road opening permit from the Burlington County Right-of-Way Access Department.

### 14.40

In the event that a county road must be widened as a consequence of the construction of a development; the developer's frontage includes a stream, and the existing structure over the stream has adequate waterway area and is scheduled for early replacement by reason of structural inadequacy or is of such construction that reconstruction of the existing structure is impractical in the opinion of the County Engineer, the applicant shall make a cash payment sufficient to cover the developer's proportionate cost of the improvement. The cost will be determined by the County Engineer using current competitive bid prices for the units involved.

### 14.41

Where a proposed development upstream from a County culvert or bridge necessitates replacement, widening or lengthening of the culvert or bridge to accommodate additional stormwater runoff, the developer shall contribute his proportionate share of the costs. This cost will be determined by the County Engineer using current competitive bid prices for units involved.

## Subsurface Water Drains

An applicant may be required to construct Type “F” underdrains (as defined in the current edition of the *Standard Specifications for Road and Bridge Construction*, NJDOT) or combination drains where the water table is high, and ditches are to be filled or as otherwise directed by the County Engineer.

## Pipes Under Residential Driveways

### 14.42

Where side ditches exist, pipes of a size and material designated by the County Engineer shall be installed beneath the driveways. A masonry concrete headwall or flared end sections shall be installed at each end of the pipe. Where conditions are favorable, continuous pipe of proper size under the sidewalk area and drives may be installed. Where such installation, by itself or in combination with existing drainage facilities, exceeds 400 feet in length, manholes and/or inlets may be required at intervals not exceeding 400 feet. Grades on the above installations shall be approved by the County Engineer.

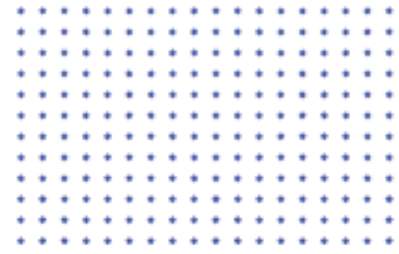
### 14.43

The County Engineer shall specify the size and kind of pipe to be installed under a driveway. The County shall not be responsible for the cost to install the pipe which may be necessary, nor shall it furnish or place material either within the right-of-way of the road or outside of it.

### 14.44

The County Engineer may authorize the placing of pipe of adequate size and material in ditches extending from road crossdrains under such conditions as will adequately handle surface drainage from the highway and abutting property. The County Engineer, however, may require the applicant to construct standard manholes, catch basins or both if current drainage condition or future maintenance conditions make these structures necessary. Depth of cover over such pipe ordinarily determines the kind of pipe to be used. On larger streams, the approval of the New Jersey Department of Environmental Protection shall be required.

# 15 DEDICATIONS, CONTRIBUTIONS & REQUIRED IMPROVEMENTS



## 15.01 Applicability

An applicant may be required to dedicate lands for right-of-way or drainage facilities, convey a drainage easement to Burlington County, and construct or contribute to the cost of constructing certain on- and off-site improvements as conditions to Planning Board approval. This chapter will describe the types of improvements which an applicant may be required to construct and specify the conditions which may require dedication of lands, the mandatory construction or contribution to the cost of constructing drainage facilities, and the conveyance of drainage easements or contribution to the cost of acquiring an easement.

## 15.02 Required Improvements

Improvements which may be required to be constructed by the applicant or to the cost of which the applicant may be required to contribute as a condition of approval include, but are not limited to: drainage facilities; drainage easements; dedication of lands for right-of-way; dedication of lands for drainageways along county roads; roadway pavement and widening; marginal access streets; reverse frontage; traffic design features, intersection improvements and traffic control devices, and other physical improvements relating to the safety and convenience of the travelling public.

## 15.03 General Considerations

Requirements for dedication or contribution for off-site improvements will be based on consideration of pertinent factors, including their cost, the benefits to the development, the conditions created by the development, population and land use projection for the area of the development, impact of the required improvement on the area, estimated time of construction and projected usefulness.

## Right-of-way Dedication

### 15.04

Review of an application for development by the County Engineer shall include an assessment of whether the applicant should be required to dedicate lands for right-of-way.



**15.05**

Right-of-way may be required to be dedicated either through fee simple conveyance or deed of easement, whichever is specified by the Land Development Review Committee or Planning Board, where the development will cause an increase in traffic volumes or impediments to traffic flows. Any requirement for dedication of lands shall be in conformance with the County Highway Master Plan and other County plans.

**15.06**

If the Planning Board Engineer believes that the right-of-way should be dedicated as a condition to Planning Board approval of an application, they shall contact the applicant and determine whether the applicant is willing to dedicate right-of-way. If the applicant is willing to do so the Planning Board Engineer shall so advise the Land Development Review Committee at the time that the application is reviewed by the Land Development Review Committee.

**15.07**

If the applicant advises the Planning Board Engineer that they are not willing to dedicate right-of-way, the Planning Board Engineer shall so advise the Land Development Review Committee and shall advise the Committee of the reasons why they believe lands should be dedicated.

**15.08**

The developer shall be given the opportunity to present such evidence or testimony at a hearing on the development to support its contention that dedication of right-of-way should not be required.

**15.09**

In determining whether dedication of right-of-way should be required, consideration shall be given to the elements cited in paragraph 15.08 and evidence as such traffic counts, existing and projected traffic patterns and existing roadway conditions. If the Land Development Review Committee determines that there are sufficient reasons to require dedication, it shall include this requirement as a condition of approval and the report of the Committee’s action on the application shall include the reasons for requiring dedication.

**15.10**

A determination may be made that an applicant should not be required to dedicate right-of-way if, there is a usable structure on the lot which is the subject of the application for approval, and dedication of lands in conformity with the County Highway Master Plan (<https://www.dvrpc.org/webmaps/bchmp/>) would, either (a) make the lot a nonconforming lot according to municipal zoning regulations, or (b) the County right-of-way line would come within ten feet (10’) of the structure.

**15.11**

Where right-of-way dedication is not required, the proposed right-of-way line shall nevertheless be shown on the final approved plan of the development.

**15.12**

Plans which include dedication of lands to Burlington County for right-of-way shall clearly indicate the lands being dedicated and shall include the following language: “Right-of-way dedicated to Burlington County for road-widening purposes” or such other language deemed appropriate by the Planning Board Solicitor.

**Drainage Facilities/Drainage Easements**

**15.13**

An applicant may be required to construct or contribute to the cost of constructing drainage facilities or to convey a drainage easement to Burlington County or contribute the cost or proportionate share of securing a drainage easement when the Planning Board Engineer determines that the development will cause stormwater to drain either directly or indirectly to a county road or through any drainageway, structure, pipe, culvert, or facility for which the County is responsible for the construction, maintenance, or proper functioning.

**15.14**

Review of an application for development by the Planning Board Engineer shall include an assessment of whether the applicant should be required to install or contribute to the installation of drainage facilities, convey an easement to the County for drainage purposes or, in lieu of providing the required drainage easement, contribute the applicant’s proportionate share of securing the easement.

**15.15**

If the Planning Board Engineer believes that the applicant should construct or contribute to the cost of constructing or securing drainage facilities, they shall so advise the Land Development Review Committee at the time that the application is reviewed and state the reason for requiring the applicant to do so.

**15.16**

In deciding whether an applicant should be required to provide drainage facilities, a drainage easement or contribute to the cost of securing or constructing drainage facilities the Land Development Review Committee and Planning Board shall consider the relationship between the development’s size to the total drainage basin, the current and proposed use of the site, the amount of impervious surface to be created by the development, the current status and capacity of the drainage basin, and such other factors as may be pertinent.

**15.17**

If the Land Development Review Committee determines that there are sufficient reasons to require the applicant to construct or contribute to the cost of constructing drainage facilities it shall include this requirement as a condition of approval and the report of the Committee’s action on the application shall include the reasons therefor.

**15.18**

If the Planning Board Engineer believes that the applicant should convey an easement to the County for drainage purposes, they shall so advise the Land Development Review Committee at the time the application is reviewed and shall state the reasons for requiring the applicant to do so. If the Planning Board Engineer recommends that the applicant should be required to contribute to the cost of securing a drainage easement, they shall so advise the Land Development Review Committee at the time the application is reviewed, his/her reasons for so requiring the contribution of the easement and what other persons may be required to contribute.

**15.19**

A decision to require that a developer convey an easement to the County for drainage purposes or contribute to the cost of securing a drainage easement shall be made after consideration of the factors described in paragraph 15.17.

**15.20**

If the Land Development Review Committee determines that the applicant should be required to convey an easement to the County for drainage purposes, it shall include this requirement as a condition of approval, and the report of the Committee’s action on the application shall include the reasons therefor.

**15.21**

In lieu of providing a required drainage easement, the applicant may be required to deposit a cash contribution with the Burlington County Treasurer to cover the cost or the applicant’s proportionate share of the cost of securing the easement. If an applicant is required to contribute his/her proportionate share toward provision of a drainage easement, the cost to the applicant shall be computed on the basis of the applicant’s acreage related to the acreage of the total drainage basin.

**Traffic Control Devices**

**15.22**

As described in Chapter 12, a developer may be required to prepare plans and specifications for the construction of a traffic signal and to contribute to the cost of constructing the signal or making changes to an existing signal where such new signal or change in signal is warranted, in whole or in part, by the developer’s application. A new signal, or changes to an existing signal, may be warranted because the development will generate a significant amount of traffic, or create a safety hazard or other situation warranting the installation of a traffic signal.

**15.23**

A developer may be required to post a performance guarantee to cover all or a part of the cost of designing and constructing a traffic signal where a traffic signal may be warranted in the future in whole or in part as a result of the development. If such a performance guarantee is required, it shall remain in effect for a period of five (5) years from the date the development is first occupied. If a new signal or modifications to an existing signal are warranted during this period, the County may apply the performance guarantee to satisfy the developer’s share in the cost of design and construction.

**15.24**

If a new traffic signal or change to an existing signal is warranted by the development during this five-year period, the developer may be required to actually prepare plans and specifications for construction of the signal and to actually construct the signal or changes to the signal.

**Off-site Improvements in General**

**15.25**

Where off-tract improvements contemplated in paragraph 15.02 may be required as a condition of approval, in lieu of installing such improvements the applicant may be required to make a cash contribution to the County to cover the cost of or the applicant's proportionate share of the future cost of installation of the facility.

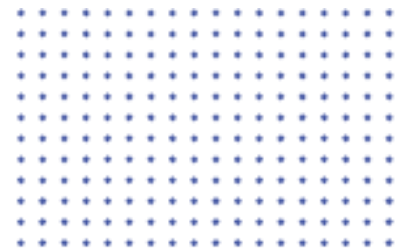
**15.26**

The procedures described in Sections 15.06-15.10 shall be followed if the Planning Board Engineer determines that the applicant should be required to construct or pay a proportionate share of the cost of constructing such facilities. The report of the Land Development Review Committee's action on the application shall include its reasons for requiring the applicant to construct the required facility or contribute to the cost of construction. Nothing herein shall be deemed as preventing a developer from waiving its right to object to dedication or contribution for any onsite or offsite improvements requested by the Land Development Review Committee or Planning Board.

**15.27**

Monies deposited with the County pursuant to the requirements of this Chapter shall be paid to the County Treasurer in accordance with N.J.S.A. 40:27-6.2.

# 16 PERMIT PROCESS



## 16.01 Road Occupancy Permit – Burlington County Right-Of-Way Access Department

- A. No person/organization shall open, tear up, excavate, bore, tunnel or drive under or in any way impair the surface, aerial or subsurface of county right-of-way without first obtaining a Road Occupancy Permit.
- B. A Road Occupancy Application may be obtained from the Burlington County Engineering Department, 1900 Briggs Road, Mount Laurel, New Jersey 08054.
- C. A Road Occupancy Policy, Applications, and Driveway Access forms can be found on the county’s website: <http://www.co.burlington.nj.us/292/Applications-Checklists>.
- D. The following is a non-exclusive list of activities and work which require compliance with the following “Policy, Procedures & Specifications Manual for: Road Occupancy Permit, Road Opening Permit, Driveway Access, Charitable Solicitation and Municipal Event”:
  - To construct improvements approved by county Land Development/Planning Board, including off-site utility and roadway improvements.
  - To dig up, excavate, tunnel, undermine or in any manner break up or damage any road, right-of-way, or other county property.
  - To make or cause to be made any excavation in or under the surface of any road, to install any road improvements, or for any purpose to construct, remove or alter improvements which are located within county right-of-way.
  - To place and/or relocate any type of building structure including towers and billboards along county road.
  - To install or replace signs or overhead banners within the county right-of-way.
  - To install aerial or underground telephone, cable television, fiber optic or other communications cable and associated equipment.
  - To install any aerial or underground electric wire, cable, signal, digital data and fiber optic associated equipment.
  - To install and/or replace utility poles. Install any equipment and devices for relay mobile signal on utility poles.
  - To install water, sewer, natural gas, and any other underground conduits and/or piping and all appurtenant structures, above/underground within county road right-of-way.

- To occupy county right-of-way to perform all construction and/or maintenance work, including landscape, sprinkler system.
- To occupy the county right-of-way for the purposes of charitable solicitation.
- To occupy, use, or cross the county right-of-way for a municipal event.
- Closure of any county road, highway, street, alley or right-of-way.
- To divert/detour traffic to county roads from state, municipal, local roads.
- Any activity not referenced above within the clear zone and/or right-of-way to be determined by the County Engineer, at his sole discretion, on a case-by-case basis.

## 16.02 Road Occupancy Permit

- A. All persons/developer/organization must obtain a Road Occupancy permit from the Burlington County Engineering Division prior to constructing improvements approved by County Planning Board.
- B. Any improvements, maintenance, and utility repair work, including modification of existing driveway, sidewalk within county road right-of-way or county facilities that do not require County Planning Board approval must obtain Road Occupancy Permit for all activities listed in paragraph 16.01.

Road Occupancy Application, supported by two (2) legible copies of a plan or sketch of the property which shows the following information is required:

- Property lines, setback and location of structures, sidewalks, drainage pipes, inlets, ditches, and elevations.
- Highway electrical installations, trees within right-of-way, advisory/directional/regulatory signs, and poles.
- Location of driveways including opposite and adjacent drives, driveway width, driveway angle, and driveway radii.
- Curblin opening, edge clearance, type of construction, and all other topography in area.

In addition, the following information shall be shown where applicable:

- Access road alignment, curb line, grades, and benchmarks.
- Existing center line profile of county road along development frontage and 100 feet along each side of property.
- Contour, corner clearance, radius of curvature, parking facilities, half cross sections.

- C. All construction work permitted by the Road Occupancy Permit must be completed within one (1) year from the date the permit was issued, unless otherwise stated on the Road Occupancy Permit. A permit may be renewed upon a showing of good cause by the applicant. If the applicant proposes changes in design, a permit may not be renewed. A new application and plans shall be submitted for approval.

**16.03 Access Permit – New Jersey Department of Transportation**

No person shall construct a driveway intersecting with a State Highway in New Jersey or sidewalk, curbing or any other related work within the limits of State highway right-of-way without first obtaining a permit from the New Jersey Department of Transportation. The permit holder shall produce the permit for inspection on demand by the County Engineer or his designee.

**16.04 Stream Encroachment Permit – New Jersey Department of Environmental Protection**

No person shall fill or divert a water channel, alter a stream or building or repair a bridge, culvert, reservoir, dam, pipeline or cable crossing, or construct a structure within the natural and ordinary high-water mark of any stream without first notifying the New Jersey Department of Environmental Protection, Division of Water Resources. The New Jersey Department of Environmental Protection, Division of Water Resources, shall be responsible for reviewing the application and determining the type of permit required, if any, and the conditions for obtaining a permit.

**16.05 Building Permit – Municipal**

No building permit shall be issued by local municipal authorities for a building or structure to be constructed on a lot which fronts a county road, or directly or indirectly involves a County drainage facility unless the Burlington County Planning Board has issued final approval of the development, and the Burlington County Engineer’s Office has issued an access permit, if required.

**16.06 Health Department Review – Burlington County Health Department**

All developments proposing on-site sewage or water facilities shall apply for review by the Burlington County Health Department.

**16.07 Permit For Excavation Near Gas Pipelines – Appropriate Gas Utility Company**

No person shall be issued a Road Opening Permit without first presenting a written statement from the person engaged in the distribution or transmission of manufactured, mixed or natural gas or synthetic natural gas, liquefied natural gas or propane gas in the area of the proposed road opening, that the said applicant has complied with the requirements of N.J.S.A. 2C:17-4.

**16.08 Erosion and Sediment Control Permits**

All projects involving the disturbance of 5,000 square feet or more of land surface shall conform to the New Jersey Standards for Soil Erosion and Sediment Control, which have been adopted by the Burlington County Planning Board and endorsed by the Burlington County Board of County Commissioners. These standards may be examined at the office of the County Planning Board and the Burlington County Soil Conservation District. All developments shall be constructed in conformance with the Soil Conservation District recommendations for erosion and sediment control during the construction period.

**16.09 Waterfront Development Permit**

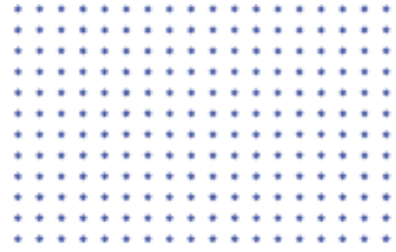
The Waterfront Development Law (N.J.S.A. 12:5-3) authorizes New Jersey Department of Environmental Protection to regulate construction in all tidal waterways and adjacent lands up to the first property line, public road or railway right-of-way, generally parallel to the waterway, provided that the boundary is between 100 and 500 feet from the mean high-water line. Applicants developing in this area are required to apply to the Division of Coastal Resources for a permit. No application for development shall be considered unless the applicant holds a valid grant, lease or license for new or formerly tide-flowed part of the site.

**16.10 Other Permits**

The State permits cited herein are those most commonly encountered in the land development process. This list may not be all-inclusive.

In the Pinelands Area, a Certificate or Notice of Filing in accordance with sections 4.13.B. or 5.16.B., shall be required for all applications for development permits.

# 17 FIGURES

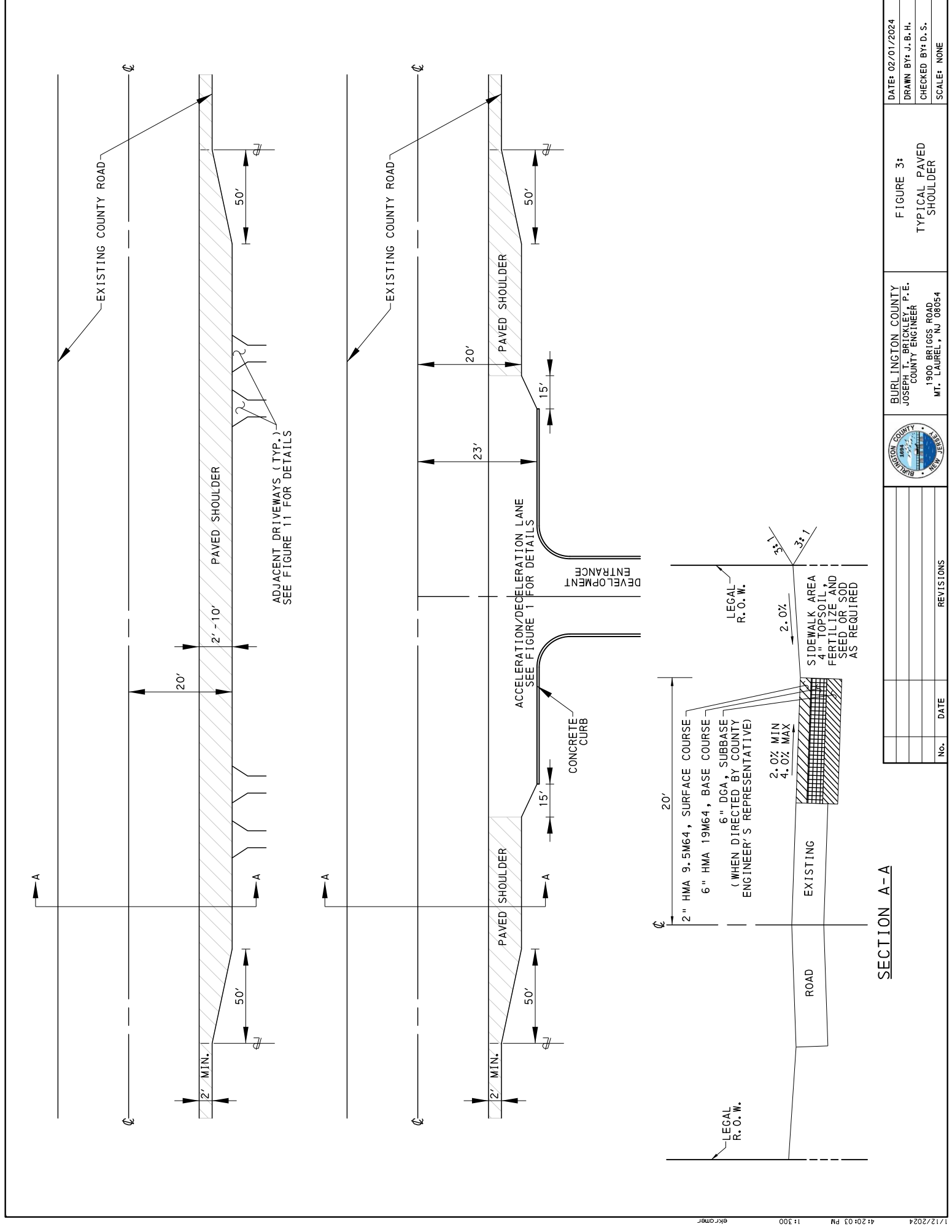


## INDEX TO FIGURES

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- 2 Left Turn/Storage Lane Detail
- 3 Typical Paved Shoulder
- 4 Typical Passing Lane
- 5 Driveway Standards & Dimensions
- 6 Standard Left Turn Prohibited Driveways
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DRAWN BY: J. B. H.  
CHECKED BY: D. S.  
SCALE: NONE

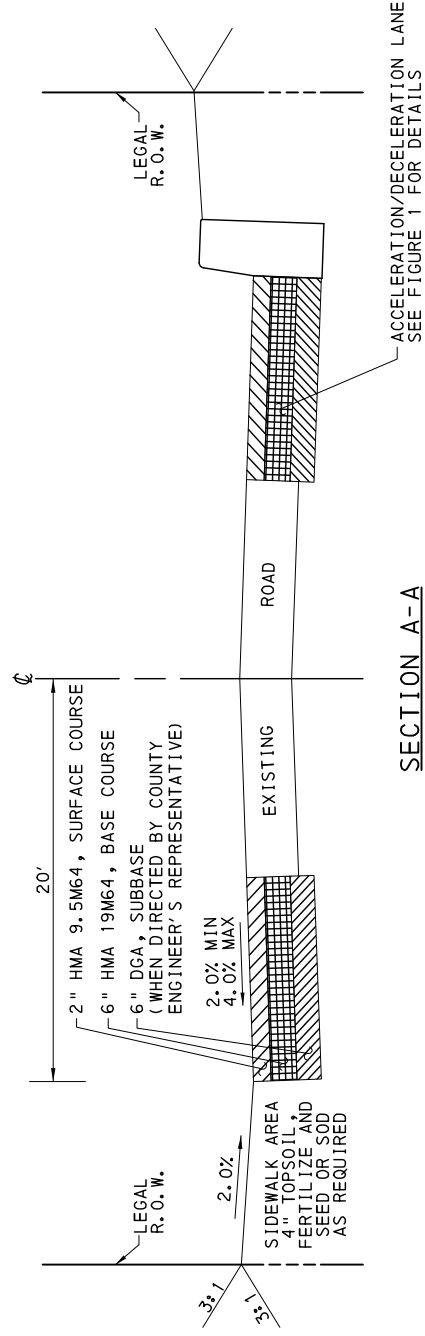
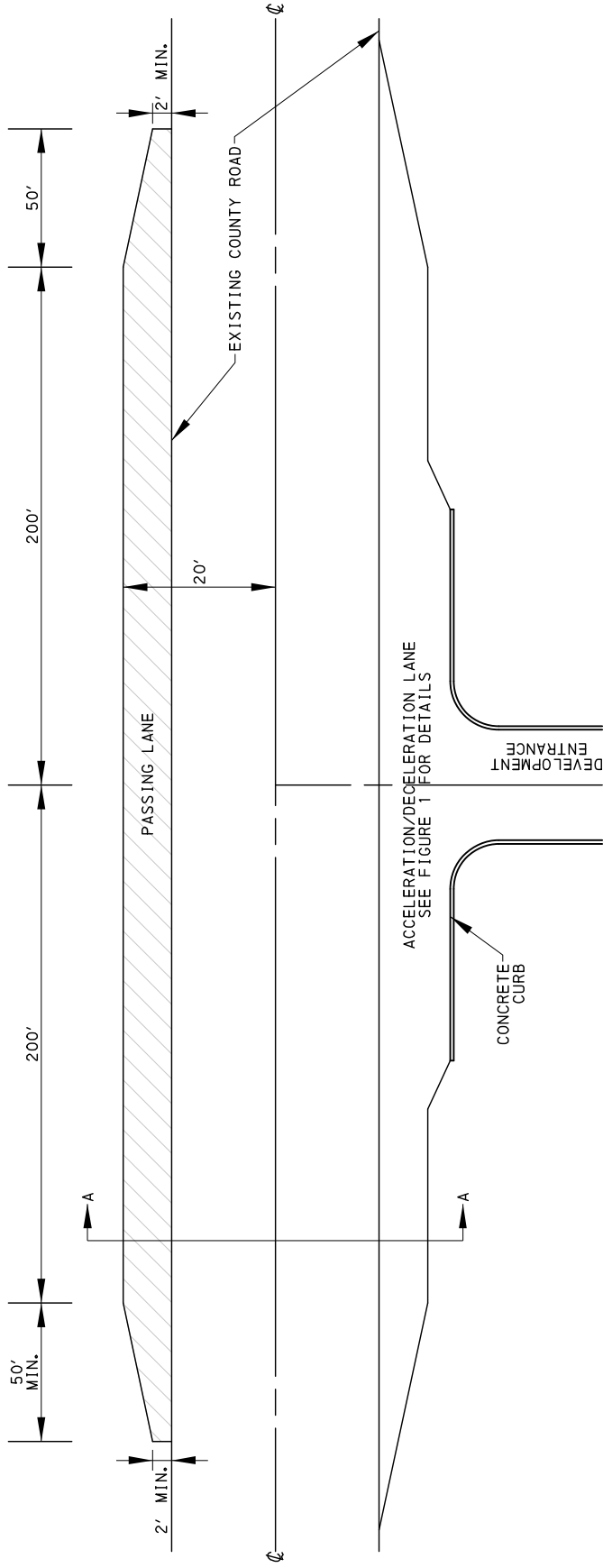
FIGURE 3:  
TYPICAL PAVED  
SHOULDER

BURLINGTON COUNTY  
JOSEPH T. BRICKLEY, P.E.  
COUNTY ENGINEER  
1900 BRIGGS ROAD  
MT. LAUREL, NJ 08054



No.	DATE	REVISIONS

SECTION A-A



SECTION A-A

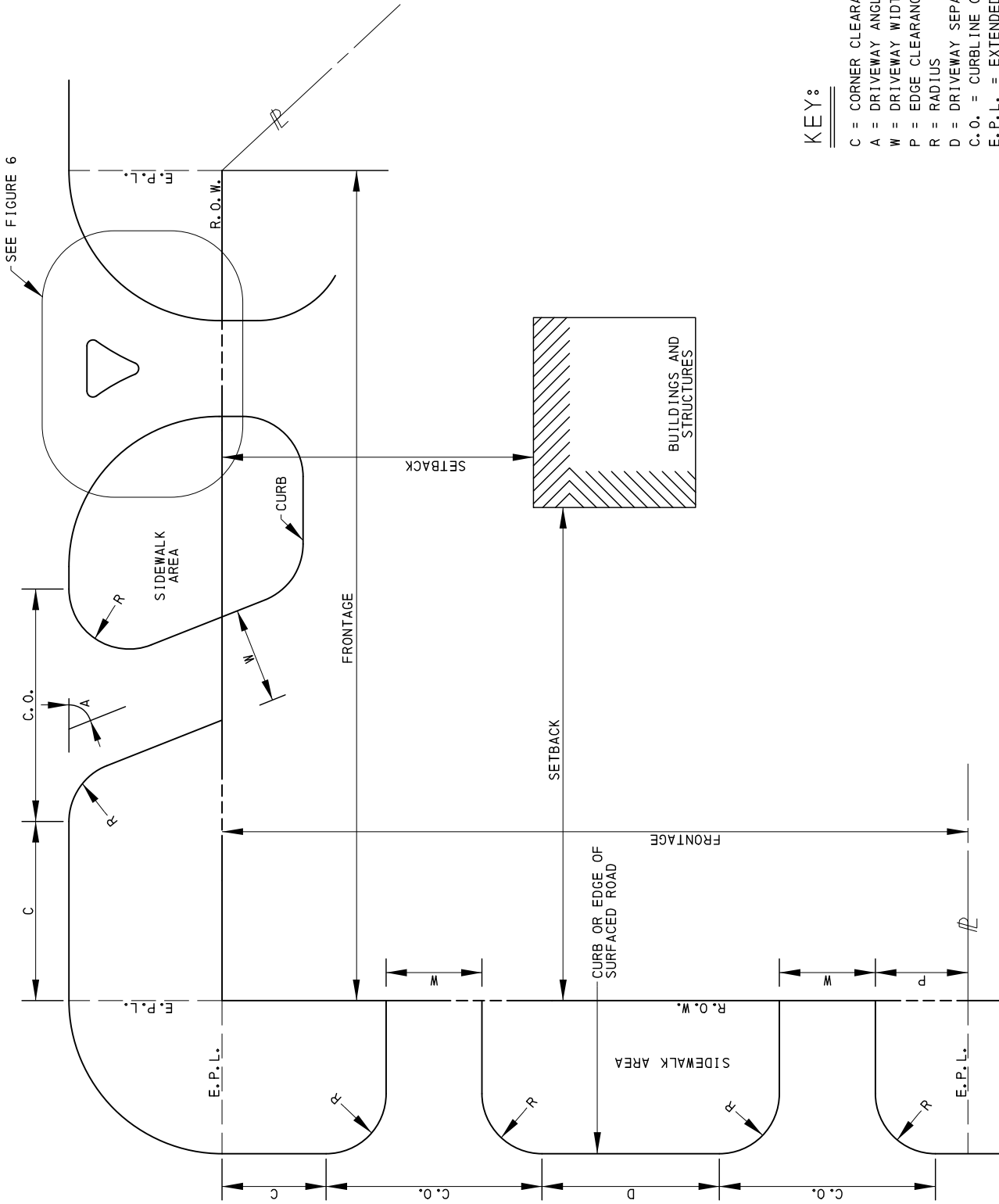
DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE

FIGURE 4:  
 TYPICAL PASSING  
 LANE

BURLINGTON COUNTY  
 JOSEPH T. BRICKLEY, P.E.  
 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
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**KEY:**

- C = CORNER CLEARANCE
- A = DRIVEWAY ANGLE
- W = DRIVEWAY WIDTH
- P = EDGE CLEARANCE
- R = RADIUS
- D = DRIVEWAY SEPARATION
- C.O. = CURBLINE OPENING
- E.P.L. = EXTENDED PROPERTY LINE

\*REFER TO SEE PARAGRAPH 12.11 FOR BASIC DRIVEWAY DIMENSIONS

DATE: 02/01/2024
DRAWN BY: J. B. H.
CHECKED BY: D. S.
SCALE: NONE

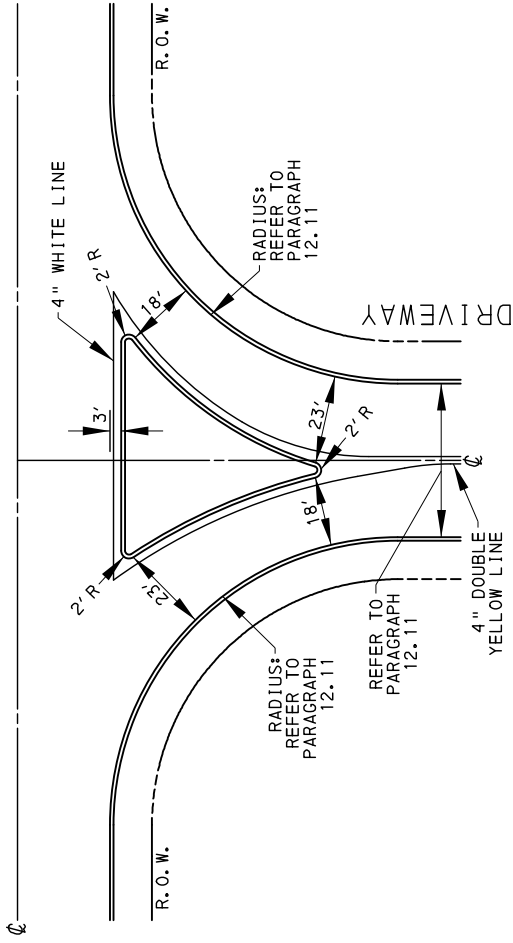
FIGURE 5:  
DRIVEWAY STANDARDS  
& DIMENSIONS

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COUNTY ENGINEER  
1900 BRIGGS ROAD  
MT. LAUREL, NJ 08054



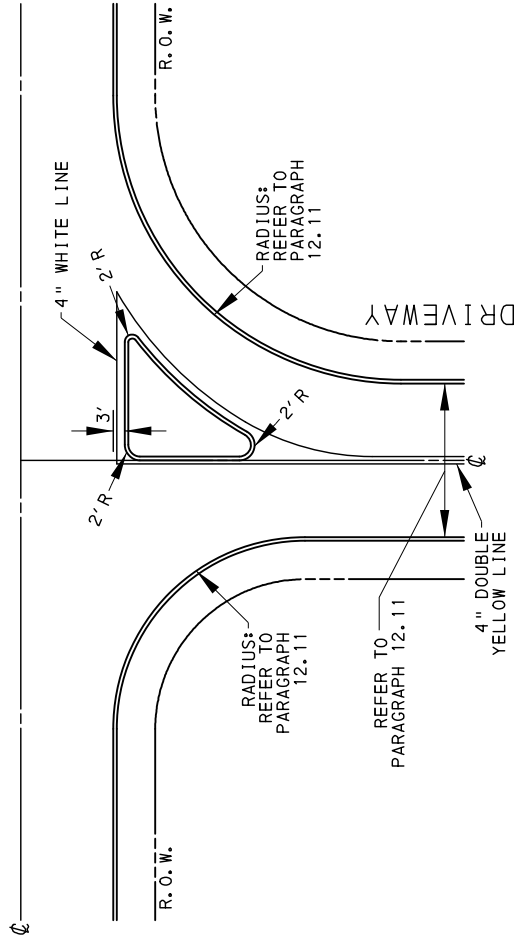
No.	DATE	REVISIONS

COUNTY ROAD



STANDARD RIGHT IN / RIGHT OUT DRIVEWAY

COUNTY ROAD



STANDARD RIGHT IN / LEFT IN / RIGHT OUT DRIVEWAY

**NOTES:**

1. SIGN ACCORDING TO THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. THE RADIUS, LANE WIDTHS, AND STRIPING SHOWN ON THIS PLAN ARE FOR REFERENCE PURPOSES ONLY. DESIGN TO BE BASED ON ACTUAL SITE CONDITIONS AND PROPOSED DESIGN VEHICLES.

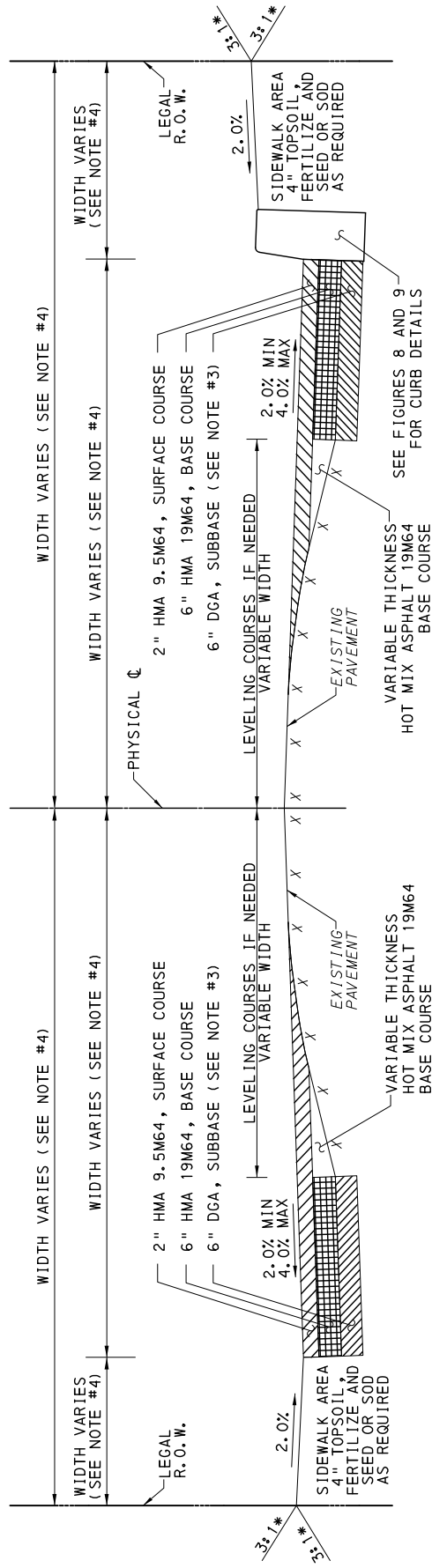
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 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
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FIGURE 6:  
 STANDARD LEFT TURN  
 PROHIBITED DRIVEWAYS

DATE: 02/01/2024  
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 CHECKED BY: D. S.  
 SCALE: NONE



TYPICAL CROSS SECTION

NOTES:

1. ALL HORIZONTAL AND VERTICAL COATS SHALL BE TACK JOINTED.
  2. ALL MATERIAL SHALL COME FROM A PRODUCER ON THE NUDOT QUALIFIED PRODUCTS LIST.
  3. 6" DENSE GRADED AGGREGATE SUBBASE SHALL BE ADDED WHERE SUBGRADE CONDITION IS DEEMED POOR, OR WHERE ROAD IS BEING WIDENED. SUBGRADE CONDITION TO BE DETERMINED BY THE COUNTY ENGINEER'S REPRESENTATIVE.
  4. REFER TO THE BURLINGTON COUNTY HIGHWAY MASTER PLAN TO DETERMINE WIDTHS FOR ROADWAY AND WIDENING: <https://www.dvrpc.org/webmaps/bchmp>
  5. GUTTER GRADE TO BE 0.5% TO 6.0%. IF LOWER THAN 0.5% MONOLITHIC CURB IS REQUIRED ( WITH A MINIMUM GUTTER GRADE OF 0.3%).
- \* SPECIAL CONDITIONS MAY WARRANT MODIFICATION AT THE DIRECTION OF THE COUNTY ENGINEER.

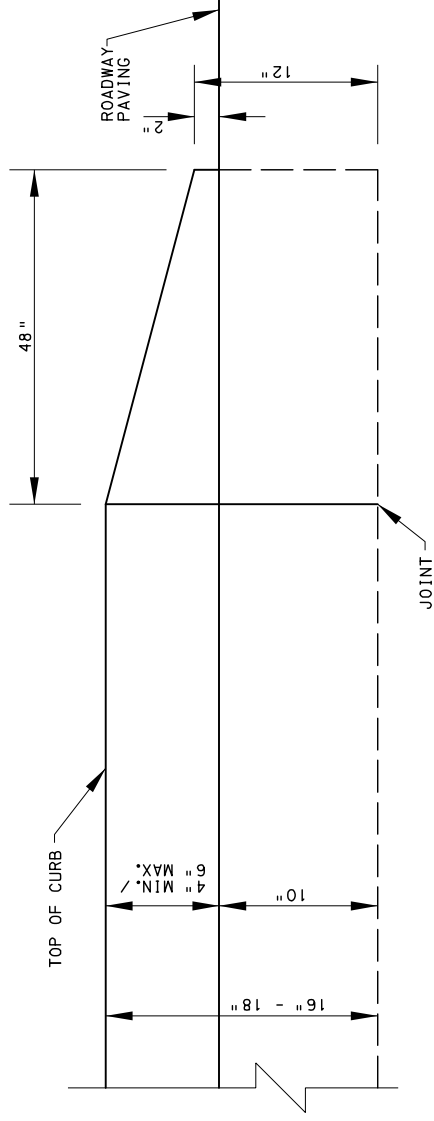
DATE: 02/01/2024
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CHECKED BY: D. S.
SCALE: NONE

FIGURE 7:  
TYPICAL  
CROSS SECTION

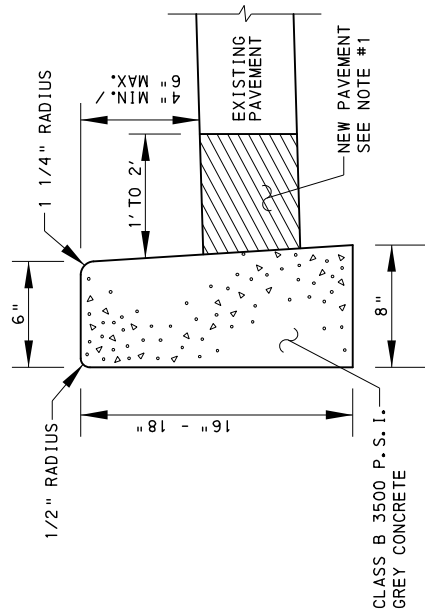
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1900 BRIGGS ROAD  
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**CURB TAPER DETAIL**  
NTS



**CROSS SECTION**  
NTS

**NOTES:**

1. WHEN NEW CURB IS INSTALLED ALONG AN EXISTING PAVED AREA, THE EXISTING PAVEMENT SHALL BE CUT IN A STRAIGHT LINE WITH A SHARP TOOL AND THE NEW PAVEMENT SHALL BE TACKED AND BUTTED TO EXISTING PAVEMENT.
2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO SPEC. M-213, RECESSED 1/4" IN FROM FRONT FACE AND TOP OF CURB.
3. A 6" CURB FACE CAN BE USED WHERE THERE IS EXISTING CURB ON BOTH SIDES OF THE PROPOSED CURB WITH 6" FACE OR LESS.
4. GUTTER GRADE TO BE 0.5% TO 6.0%. IF LOWER THAN 0.5%, MONOLITHIC CURB IS REQUIRED (WITH A MINIMUM GUTTER GRADE OF 0.3%).

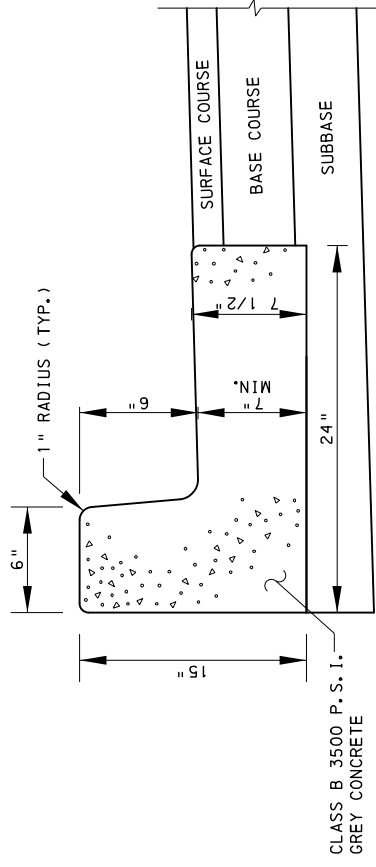
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BURLINGTON COUNTY  
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COUNTY ENGINEER  
1900 BRIGGS ROAD  
MT. LAUREL, NJ 08054

FIGURE 8:  
CONCRETE  
CURB DETAILS

DATE: 02/01/2024  
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CHECKED BY: D. S.  
SCALE: NONE



**NOTES:**

1. MONOLITHIC CURB MAY BE REQUIRED WHERE THE GUTTERLINE GRADE IS LESS THAN 0.5%.
2. MINIMUM GUTTER GRADE THAT IS ALLOWABLE TO USE WITH MONOLITHIC CURB IS 0.3%.

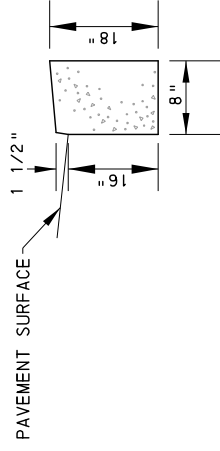
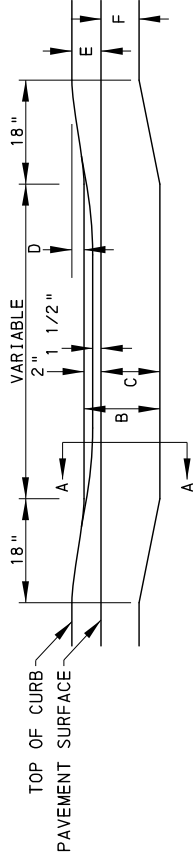
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 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
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No.	DATE	REVISIONS

FIGURE 9:  
 MONOLITHIC  
 CURB DETAIL

DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE



**SECTION A-A**  
6" X 8" X 18"  
 NTS

CURB SIZE	B	C	D	E	F
6" X 8" X 18"	20"	20"	20"	20"	20"

DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE

FIGURE 10:  
 DEPRESSED  
 CURB DETAIL

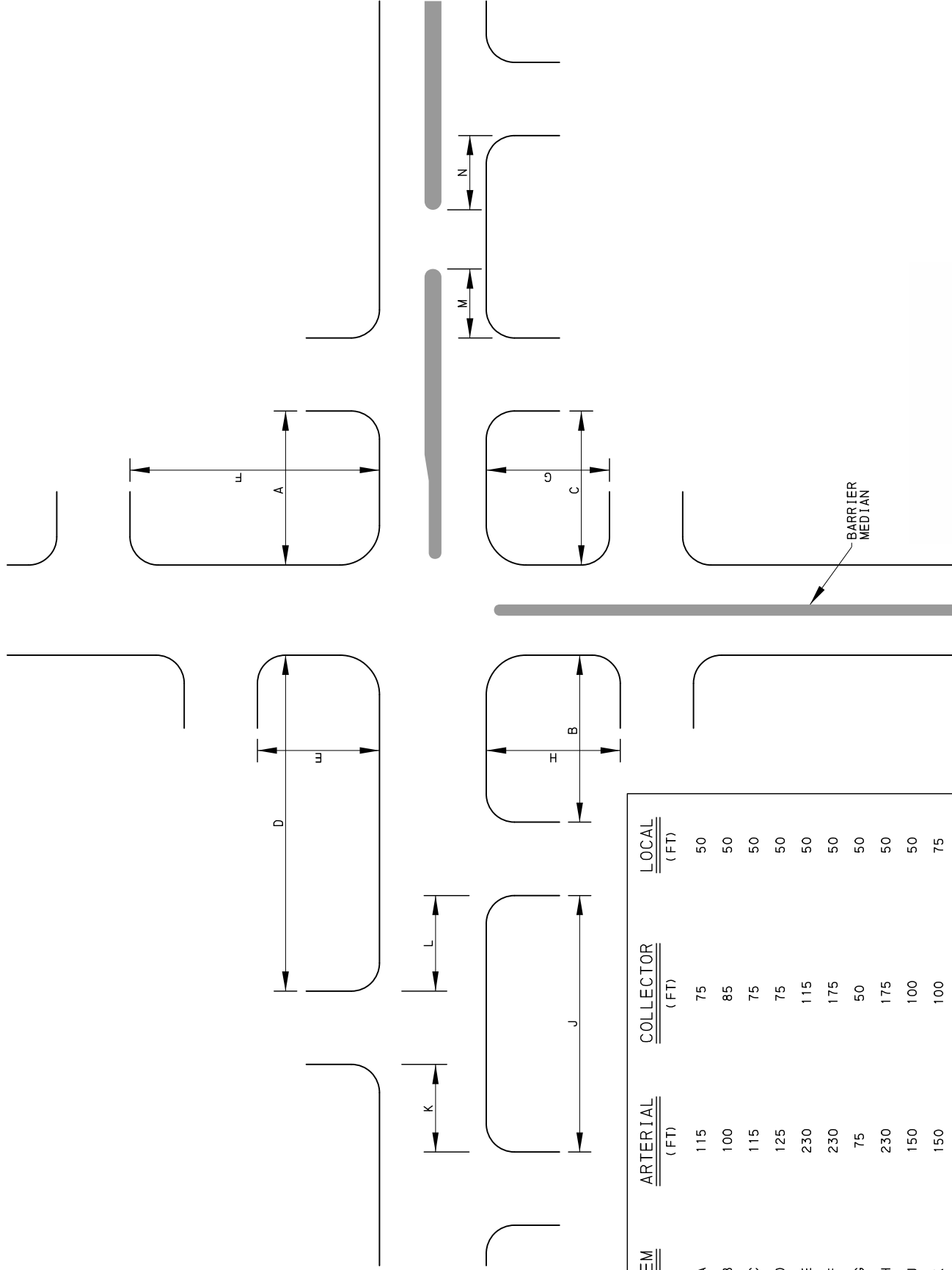
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 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
 MT. LAUREL, NJ 08054



No.	DATE	REVISIONS

MINOR ROADWAY

MAJOR ROADWAY



ITEM	ARTERIAL (FT)	COLLECTOR (FT)	LOCAL (FT)
A	115	75	50
B	100	85	50
C	115	75	50
D	125	75	50
E	230	115	50
F	230	175	50
G	75	50	50
H	230	175	50
J	150	100	50
K	150	100	75
L	100	75	50
M	75	0	0
N	75	50	35

NOTE: WHERE BOTH ROADWAYS ARE OF THE SAME CLASS, THE DIMENSIONS PROVIDING THE GREATEST CORNER CLEARANCE SHOULD BE USED

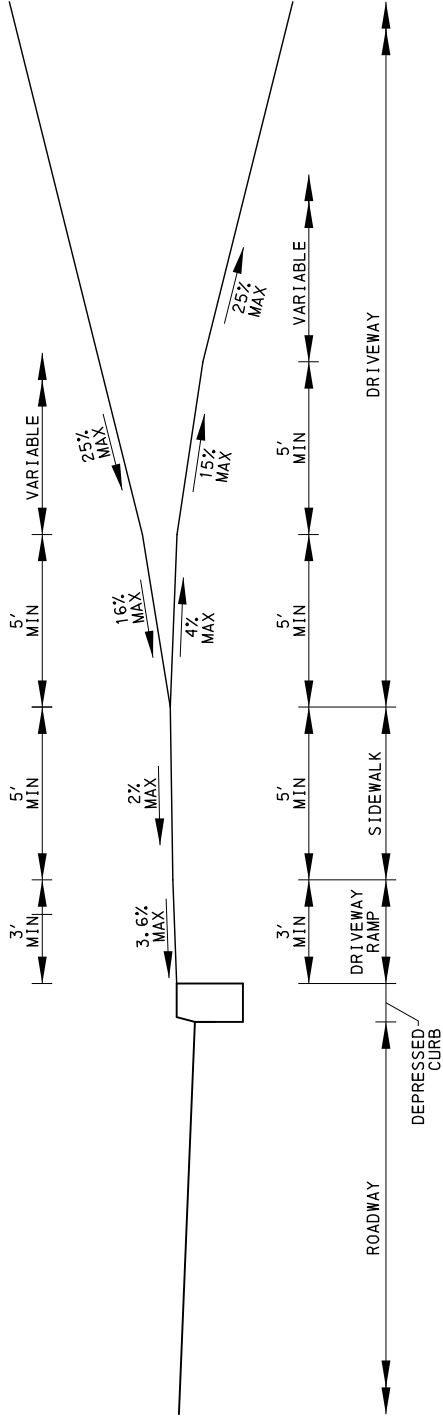


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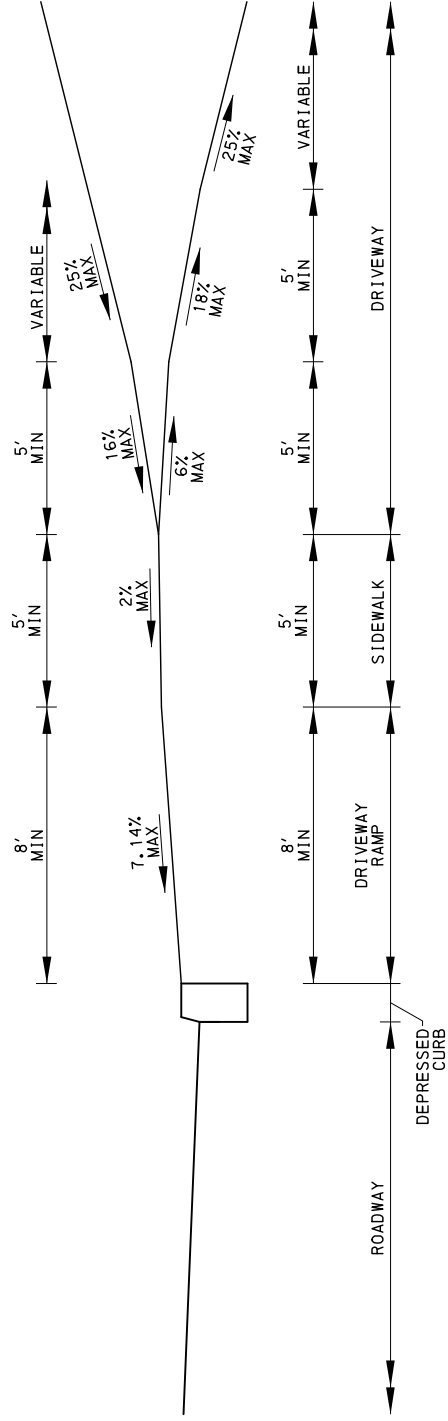
FIGURE 11:  
 DRIVEWAY LOCATION  
 STANDARDS

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 CHECKED BY: D. S.  
 SCALE: NONE

No.	DATE	REVISIONS



**SIDEWALK WITHIN 8' OF CURB**  
NTS



**SIDEWALK 8' OR MORE FROM CURB**  
NTS

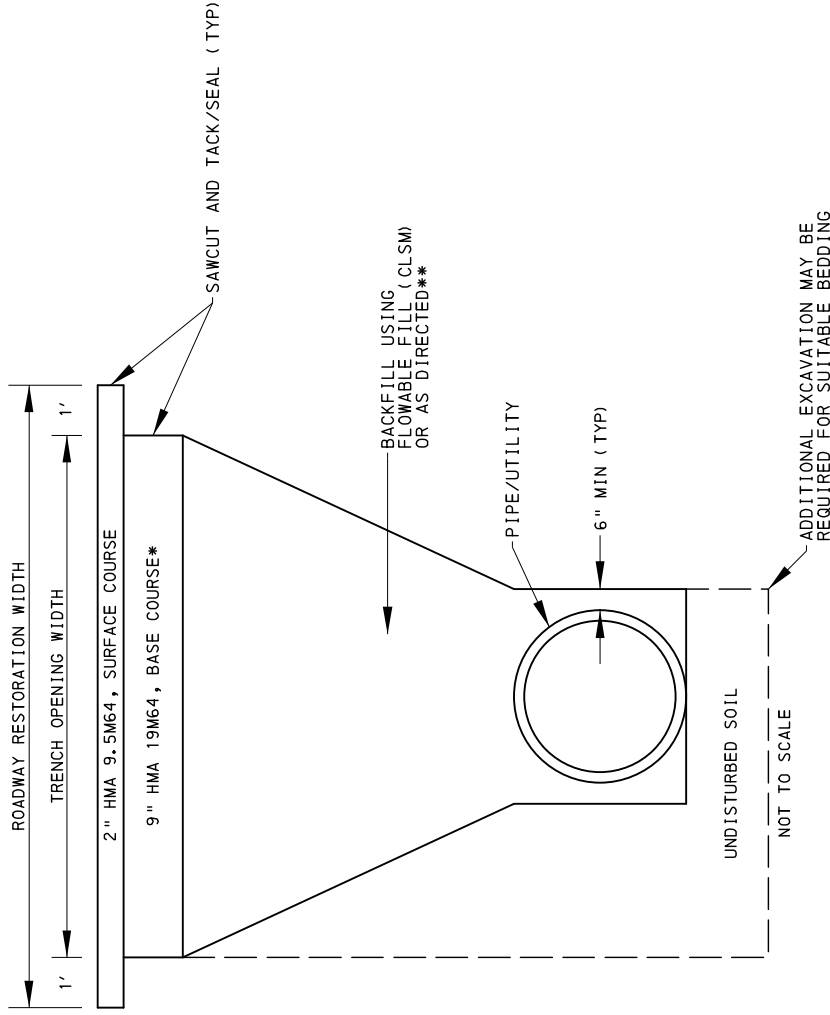


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1900 BRIGGS ROAD  
MT. LAUREL, NJ 08054

FIGURE 12:  
DRIVEWAY  
PROFILES

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SCALE: NONE

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### NOTES:

1. SELECT BACKFILL MUST BE ON-SITE PRIOR TO START OF CONSTRUCTION WHEN IT IS REQUIRED.
  2. SELECT BACKFILL MAY BE WAIVED BY THE COUNTY ENGINEER'S REPRESENTATIVE WHEN SOILS ARE FAVORABLE.
  3. BACKFILL MATERIAL SHALL BE COMPACTED IN LAYERS OF 6" THICKNESS.
  4. WHEN REPLACING A PAVEMENT OPENING, THE STABILIZED BASE SHOULD BE BROUGHT UP TO LEVEL WITH THE EXISTING PAVEMENT; AFTER SETTLEMENT OF THE TRENCH HAS OCCURRED, THE 2" HMA SURFACE COURSE CAN BE PLACED.
  5. CONCRETE ROADWAYS WILL BE REPLACED IN KIND WITH 8" THICK REINFORCED CONCRETE, 3500 PSI, 28 DAY COMPRESSIVE STRENGTH.
- \* 9" THICK HOT MIX ASPHALT (HMA) PLACED IN THREE LAYERS
- \*\* TRENCH RESTORATION IN UNPAVED AREAS WITHIN RIGHT-OF-WAY SHALL BE DONE AS DIRECTED BY THE COUNTY ENGINEER'S REPRESENTATIVE

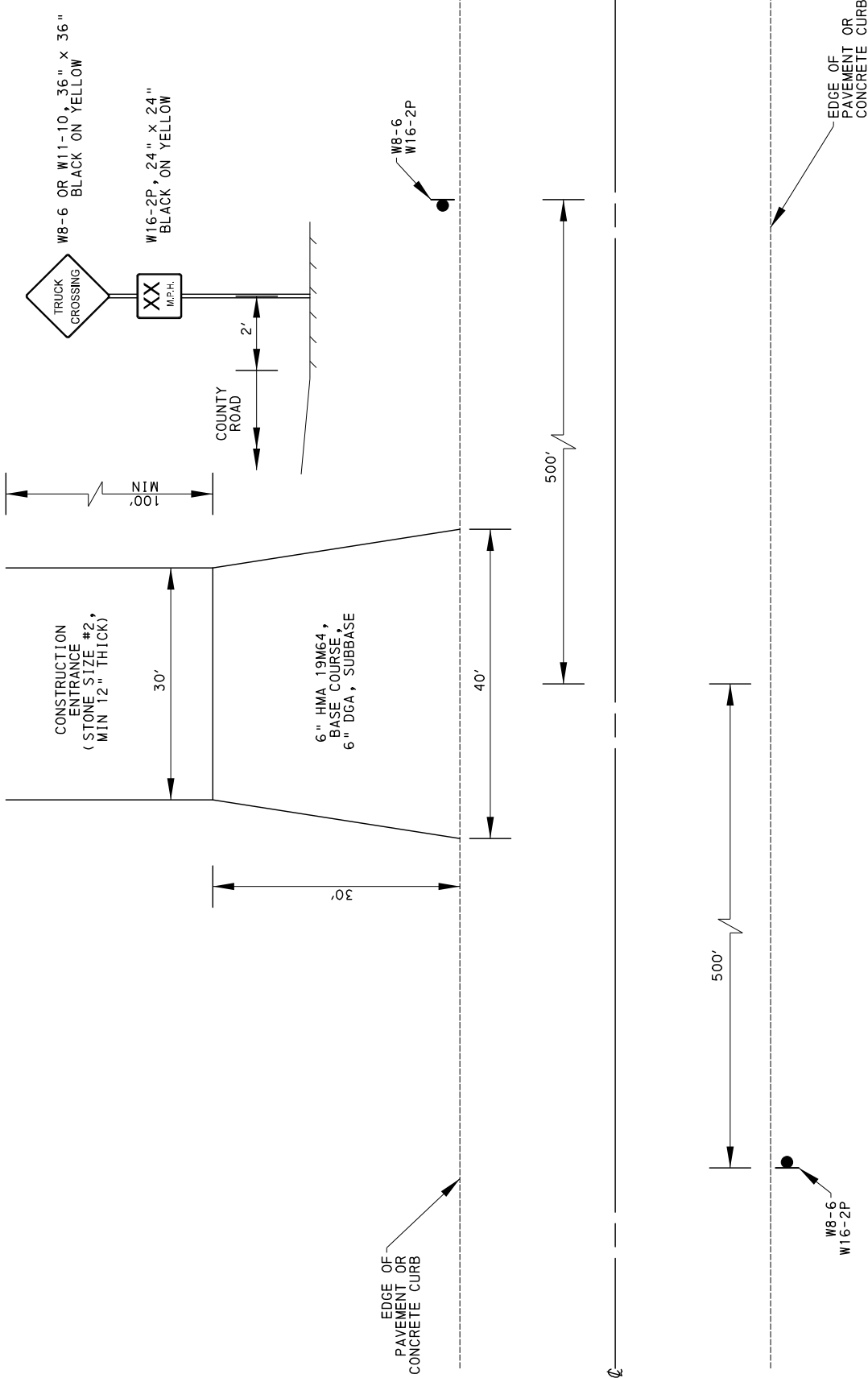
BURLINGTON COUNTY  
 JOSEPH T. BRICKLEY, P.E.  
 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
 MT. LAUREL, NJ 08054



No.	DATE	REVISIONS

FIGURE 13:  
 TRENCH REPLACEMENT  
 FOR ROAD OPENINGS

DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE



**NOTES:**

1. CONSTRUCTION ENTRANCES TO BE USED FOR LONGER THAN 6 MONTHS ARE REQUIRED TO BE PAVED AS SHOWN IN THIS FIGURE.
2. ENTRANCES TO LANDFILLS AND PITS WILL REQUIRE ADDITIONAL PAVING AS REQUIRED BY THE COUNTY ENGINEER'S REPRESENTATIVE.
3. THE PAVING AND TRAFFIC SIGNS SHALL BE IN PLACE BEFORE USING THE CONSTRUCTION ENTRANCE.
4. THE TRAFFIC SIGNS SHALL BE CONSTRUCTED OF HIGH INTENSITY REFLECTIVE BACKGROUNDS ON ALUMINUM BLANKS.
5. ALL SIGNS AND MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT MUTCD.

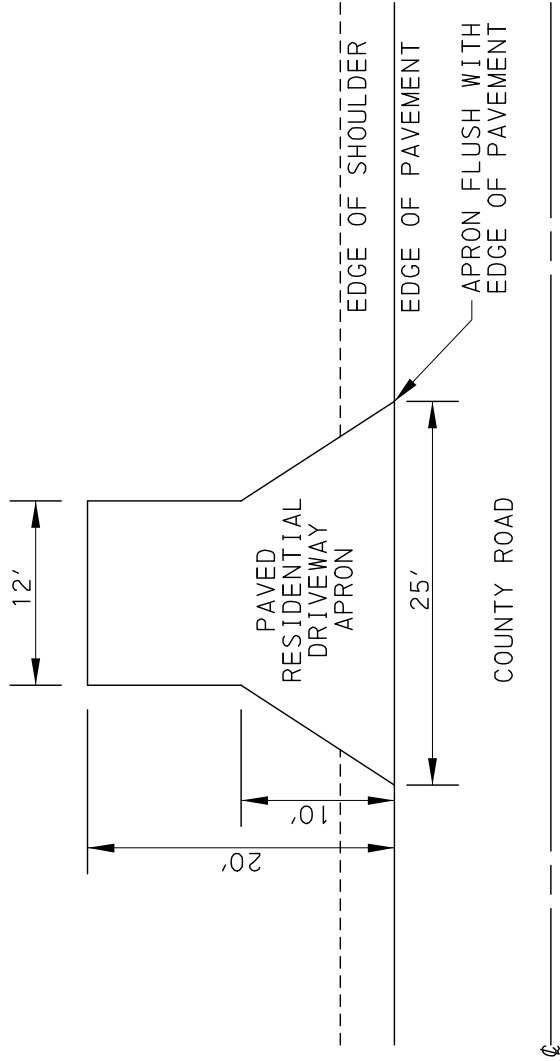
No.	DATE	REVISIONS

BURLINGTON COUNTY  
 JOSEPH T. BRICKLEY, P.E.  
 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
 MT. LAUREL, NJ 08054

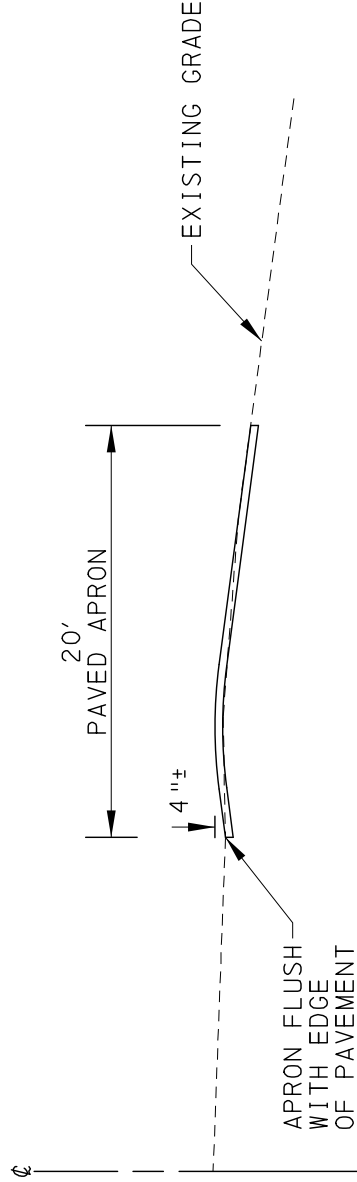
FIGURE 14:  
 CONSTRUCTION  
 ENTRANCE DETAIL

DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE





PLAN



SECTION\*

\* THIS SECTION SPECIFICALLY APPLIES TO PROPERTIES THAT ARE SITUATED AT, OR BELOW THE EXISTING GRADE OF THE COUNTY ROAD. THE APRON SHALL BE CONSTRUCTED SO THAT A RIDGE (HIGH POINT) IS CREATED, WHICH IS ABOUT 4" ABOVE THE EDGE OF PAVEMENT. THIS WILL PREVENT RUNOFF FROM THE COUNTY ROAD FROM FLOWING INTO THE DRIVEWAY.

2" HMA 9.5M64  
( ASPHALT PAVING)

6" D.G.A.  
( CRUSHED STONE)

-OR-

6" CLASS B  
CONCRETE WITH  
WIRE MESH

DRIVEWAY APRON PAVING SECTION

NOTES:

- DO NOT INTERFERE WITH THE EXISTING DRAINAGE ALONG THE COUNTY ROAD BY PAVING HIGHER THAN THE EDGE OF PAVEMENT OR STONE SHOULDER. DRIVEWAY APRONS SHALL BE PAVED FLUSH WITH THE EDGE OF PAVEMENT.
- THE FIRST 20 FEET OF ALL RESIDENTIAL DRIVEWAYS SHALL BE PAVED AS SHOWN IN THIS FIGURE.
- THE DIMENSIONS SHOWN FOR THE PAVED DRIVEWAY APRON ARE MINIMUM DIMENSIONS.
- A WIDER DRIVEWAY APRON WILL BE REQUIRED ON HIGH VOLUME COUNTY ROADS, AS DETERMINED BY THE OFFICE OF THE COUNTY ENGINEER.
- RESIDENTIAL DRIVEWAY APRONS SHALL BE PAVED PRIOR TO RECEIPT OF A CERTIFICATE OF OCCUPANCY.
- OWNER/APPLICANTS ARE RESPONSIBLE TO ENSURE NEW APRONS ARE PROPERLY CONSTRUCTED SO AS TO KEEP RUNOFF FROM THE COUNTY ROAD FROM FLOWING INTO THEIR DRIVEWAY.

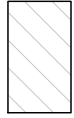
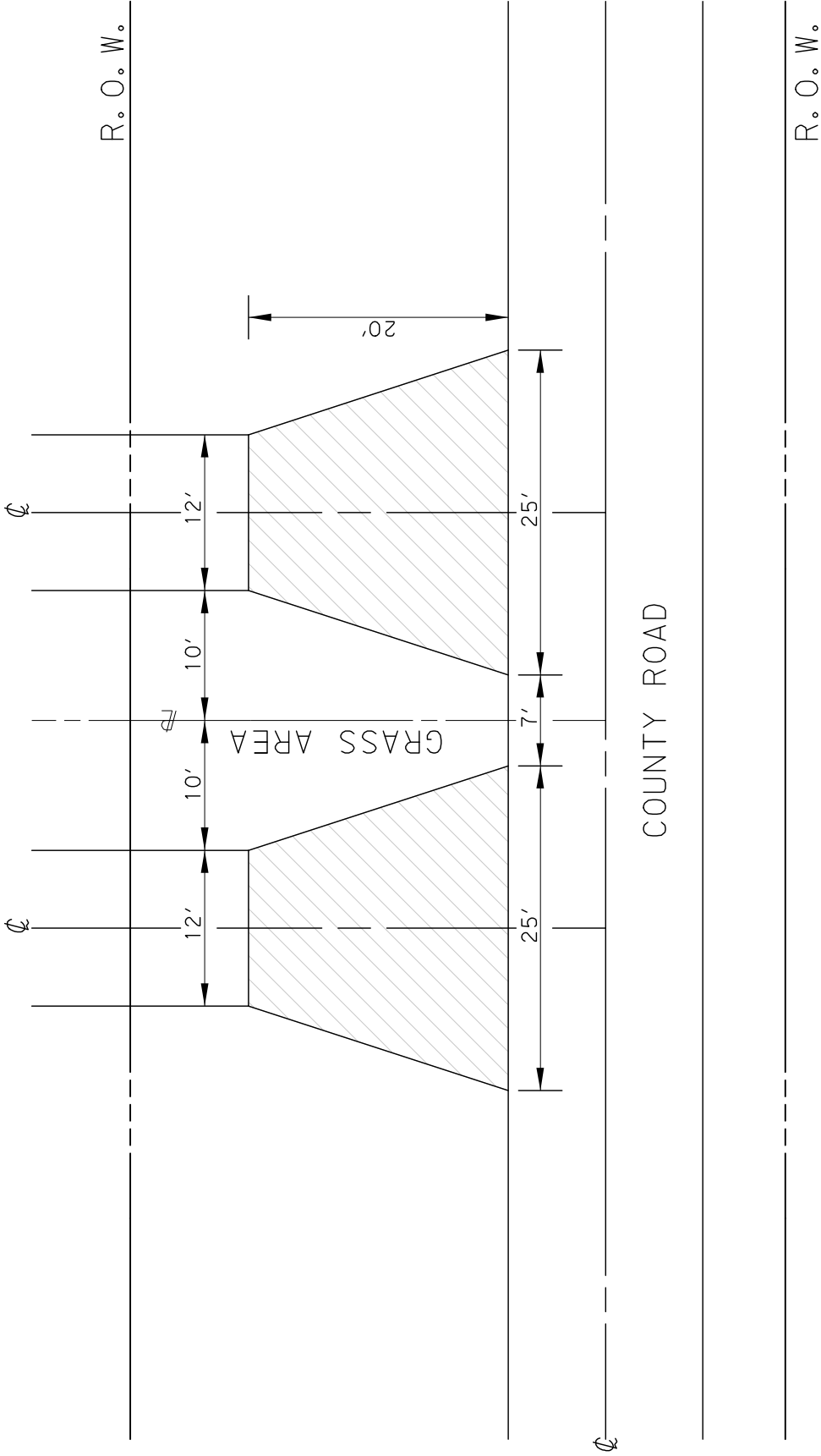


BURLINGTON COUNTY  
JOSEPH T. BRICKLEY, P.E.  
COUNTY ENGINEER  
1900 BRIGGS ROAD  
MT. LAUREL, NJ 08054

FIGURE 15:  
RESIDENTIAL PAVED  
DRIVEWAY DETAIL

DATE: 02/01/2024  
DRAWN BY: J. B. H.  
CHECKED BY: D. S.  
SCALE: NONE

No.	DATE	REVISIONS



- PAVE AT LEAST THE 20'; REFER TO FIGURE 20 FOR DRIVEWAY APRON PAVEMENT SECTION.

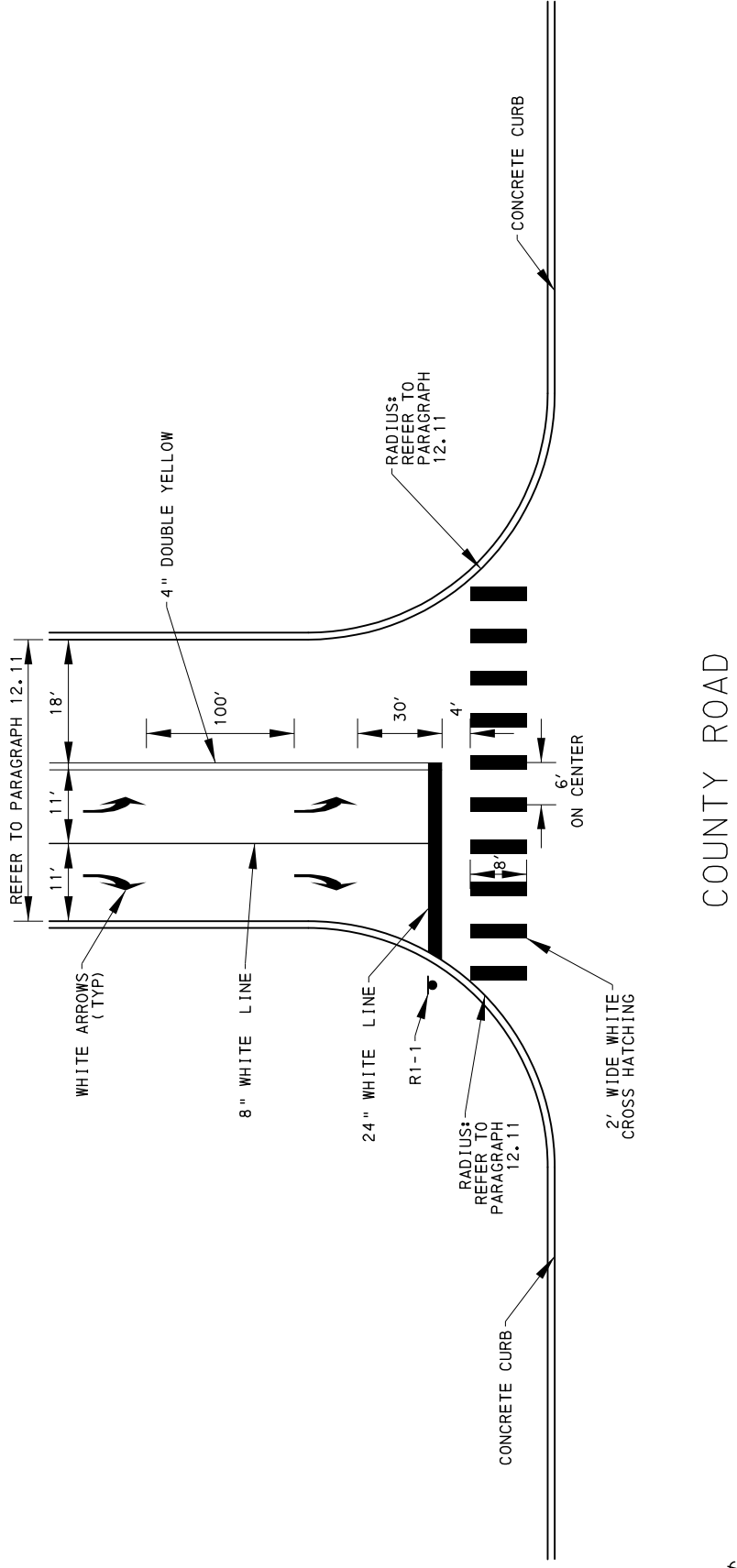
DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE

FIGURE 16:  
 ADJACENT RESIDENTIAL  
 DRIVEWAYS

BURLINGTON COUNTY  
 JOSEPH T. BRICKLEY, P.E.  
 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
 MT. LAUREL, NJ 08054



No.	DATE	REVISIONS



**NOTES:**

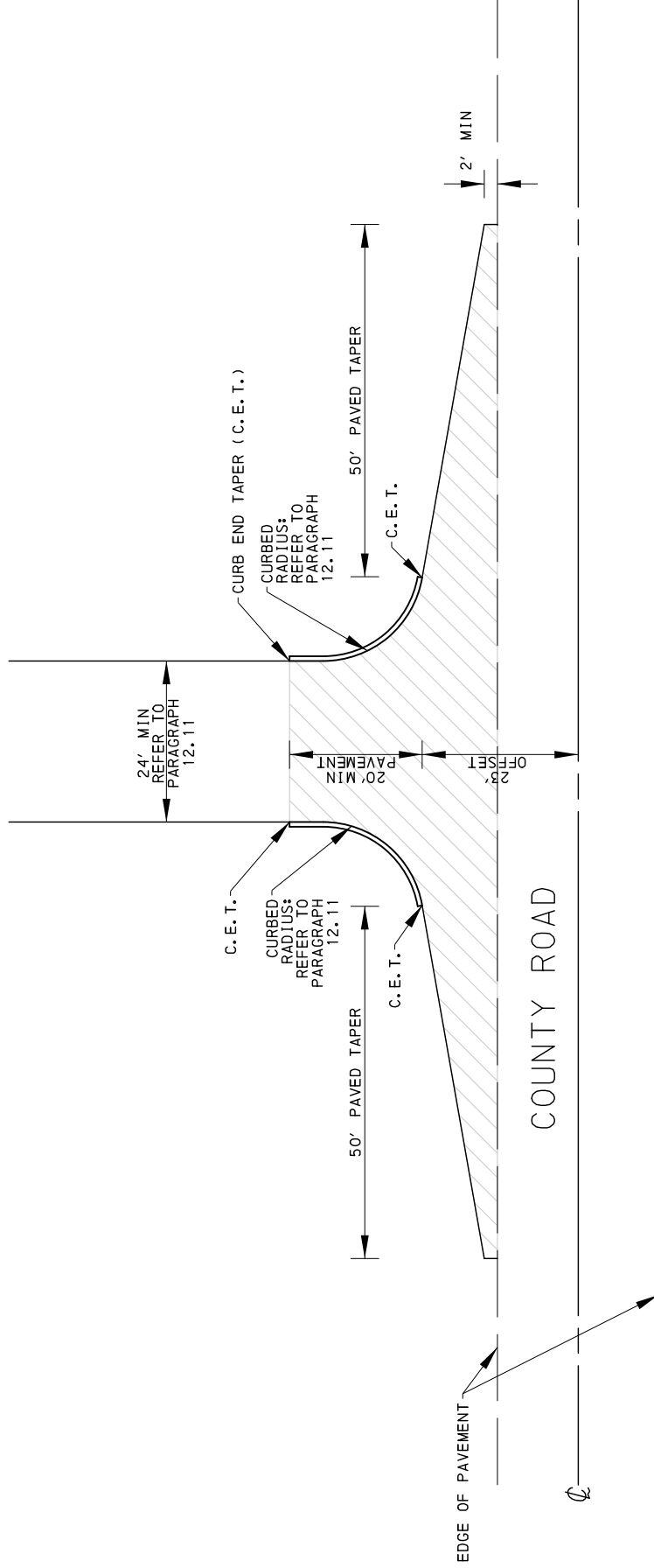
1. THIS DETAIL SHOWS THE MINIMUM IMPROVEMENTS REQUIRED TO PROVIDE ACCESS FROM MAJOR COMMERCIAL SITES WITH HIGH TRAFFIC VOLUME.
2. WIDTH OF THE NEW ENTRANCE ROAD OR DRIVEWAY DEPENDS ON THE TYPE AND SIZE OF DEVELOPMENT AND THE USE OF CHANNELIZATION. SEE PARAGRAPH 12.11.
3. THE TRAFFIC SIGNS SHALL BE CONSTRUCTED OF HIGH INTENSITY REFLECTIVE BACKGROUNDS ON ALUMINUM BLANKS.
4. ALL SIGNS AND MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT MUTCD. MARKINGS TO BE 3M TAPE OR APPROVED EQUAL (STOP BARS AND DIRECTIONAL ARROWS).
5. THE RADIUS, LANE WIDTHS, AND STRIPING SHOWN ON THIS PLAN ARE FOR REFERENCE PURPOSES ONLY. DESIGN TO BE BASED ON ACTUAL SITE CONDITIONS AND PROPOSED DESIGN VEHICLES.

No.	DATE	REVISIONS

BURLINGTON COUNTY JOSEPH T. BRICKLEY, P.E. COUNTY ENGINEER 1900 BRIGGS ROAD MT. LAUREL, NJ 08054	FIGURE 17: HIGH VOLUME DRIVEWAY DETAIL	DATE: 02/01/2024 DRAWN BY: J. B. H. CHECKED BY: D. S. SCALE: NONE
--	--	--





**NOTES:**

1. THIS DETAIL SHOWS THE MINIMUM IMPROVEMENTS REQUIRED FOR LOW VOLUME COMMERCIAL DRIVEWAYS WHERE CONCRETE CURBING DOES NOT EXIST.
2. WIDTH OF THE NEW DRIVEWAY DEPENDS ON THE TYPE AND SIZE OF DEVELOPMENT AND THE USE OF CHANNELIZATION. SEE PARAGRAPH 12.11.
3. ALL SIGNS AND MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT MUTCD. MARKINGS TO BE 3M TAPE OR APPROVED EQUAL (STOP BARS AND DIRECTIONAL ARROWS).
4. SEE FIGURE 7 FOR THE COUNTY PAVING SECTIONS.

BURLINGTON COUNTY  
 JOSEPH T. BRICKLEY, P.E.  
 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
 MT. LAUREL, NJ 08054



No.	DATE	REVISIONS

FIGURE 18:  
 LOW VOLUME  
 DRIVEWAY DETAIL

DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE



R1-1  
30"X30"



R3-1  
24"X24"



R3-2  
24"X24"



R3-7L  
30"X30"



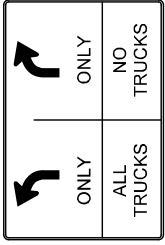
R3-7R  
30"X30"



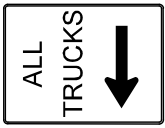
R(NJ) 3-8B  
30"X30"



R4-7  
24"X30"



SPECIAL "A"  
(BLACK LETTERING  
ON WHITE BACKGROUND)



SPECIAL "B"  
(BLACK LETTERING  
ON WHITE BACKGROUND)

5D  
3.5E  
3.5E

8C  
8B

COUNTY ROAD

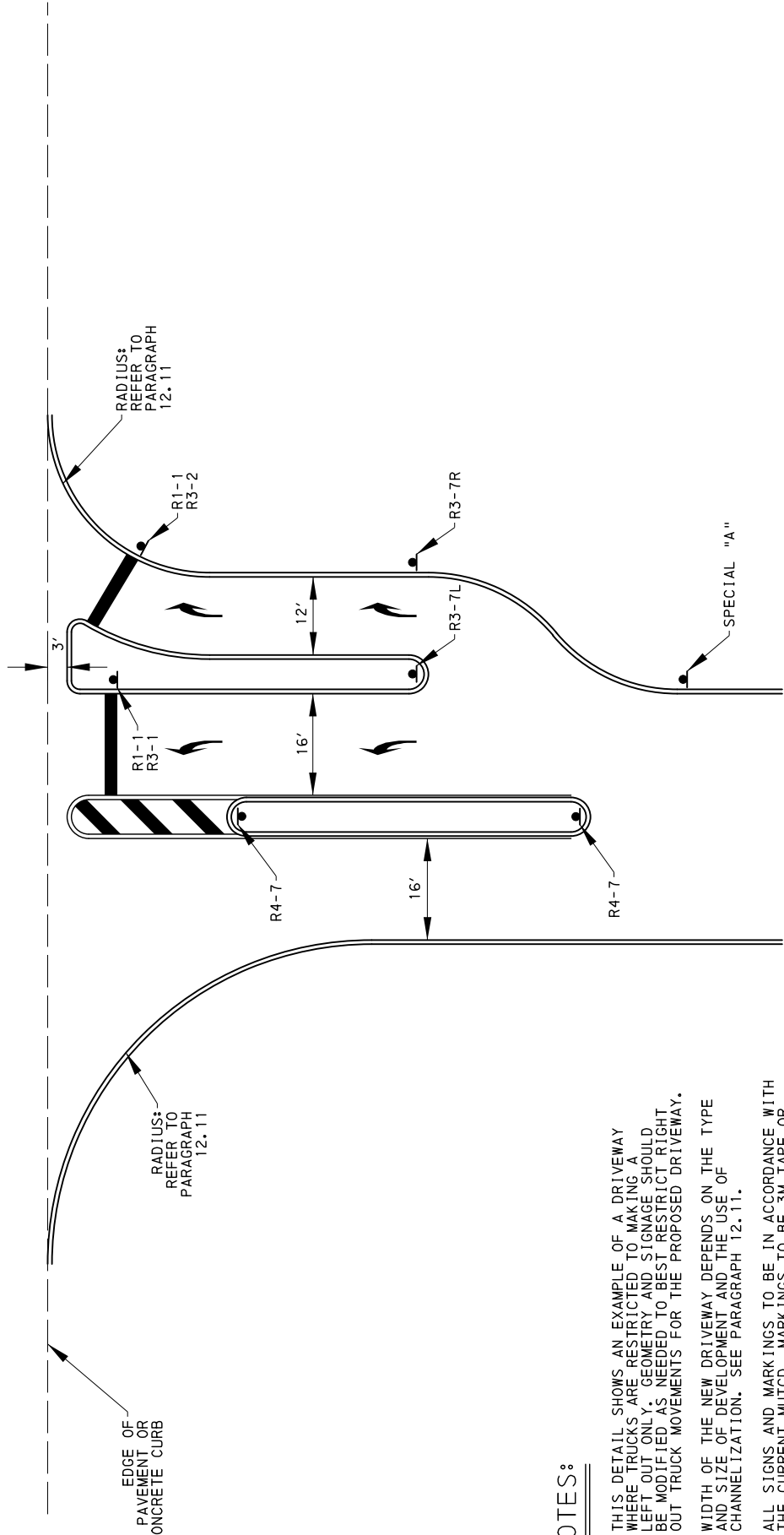
EDGE OF  
PAVEMENT OR  
CONCRETE CURB

SPECIAL "B"

EDGE OF  
PAVEMENT OR  
CONCRETE CURB

RADIUS:  
REFER TO  
PARAGRAPH  
12.11

RADIUS:  
REFER TO  
PARAGRAPH  
12.11



NOTES:

1. THIS DETAIL SHOWS AN EXAMPLE OF A DRIVEWAY WHERE TRUCKS ARE RESTRICTED TO MAKING A LEFT OUT ONLY. GEOMETRY AND SIGNAGE SHOULD BE MODIFIED AS NEEDED TO BEST RESTRICT RIGHT OUT TRUCK MOVEMENTS FOR THE PROPOSED DRIVEWAY.
2. WIDTH OF THE NEW DRIVEWAY DEPENDS ON THE TYPE AND SIZE OF DEVELOPMENT AND THE USE OF CHANNELIZATION. SEE PARAGRAPH 12.11.
3. ALL SIGNS AND MARKINGS TO BE IN ACCORDANCE WITH THE CURRENT MUTCD. MARKINGS TO BE 3M TAPE OR APPROVED EQUAL (STOP BARS AND DIRECTIONAL ARROWS).
4. THE RADIUS, LANE WIDTHS, AND STRIPING SHOWN ON THIS PLAN ARE FOR REFERENCE PURPOSES ONLY. DESIGN TO BE BASED ON ACTUAL SITE CONDITIONS AND PROPOSED DESIGN VEHICLES.

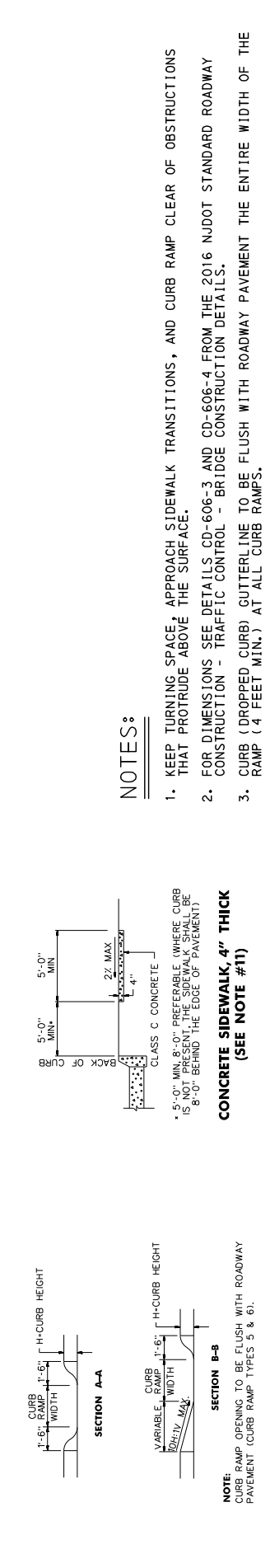
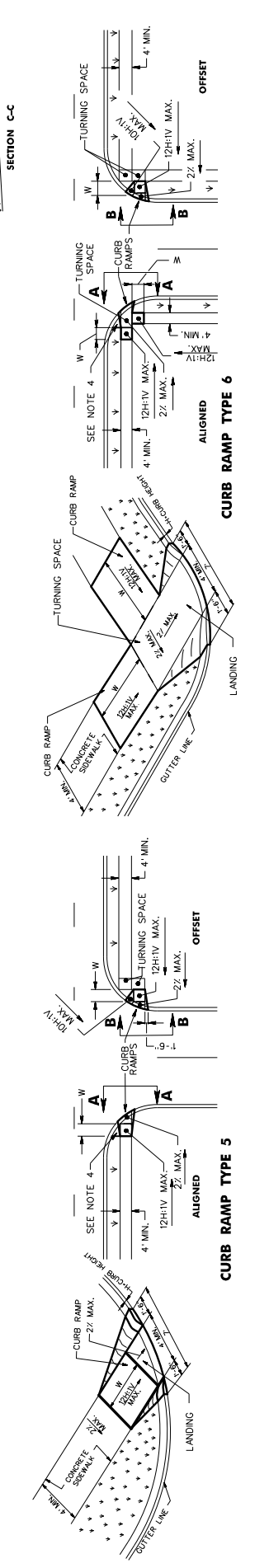
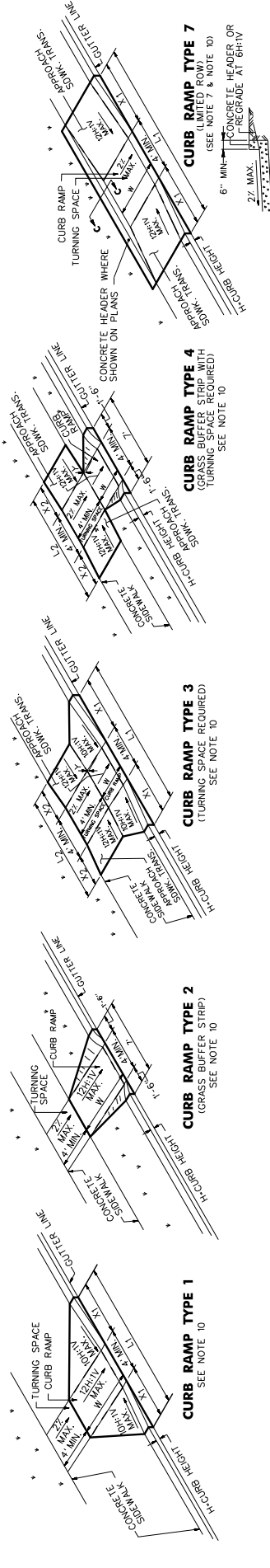


BURLINGTON COUNTY  
JOSEPH T. BRICKLEY, P.E.  
COUNTY ENGINEER  
1900 BRIGGS ROAD  
MT. LAUREL, NJ 08054

No.	DATE	REVISIONS

FIGURE 19:  
TRUCK RESTRICTION  
DETAIL

DATE: 02/01/2024  
DRAWN BY: J. B. H.  
CHECKED BY: D. S.  
SCALE: NONE



**NOTES:**

- KEEP TURNING SPACE, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP CLEAR OF OBSTRUCTIONS THAT PROTRUDE ABOVE THE SURFACE.
- FOR DIMENSIONS SEE DETAILS CD-606-3 AND CD-606-4 FROM THE 2016 NJDOT STANDARD ROADWAY CONSTRUCTION - TRAFFIC CONTROL - BRIDGE CONSTRUCTION DETAILS.
- CURB (DROPPED CURB) GUTTERLINE TO BE FLUSH WITH ROADWAY PAVEMENT THE ENTIRE WIDTH OF THE RAMP (4 FEET MIN.) AT ALL CURB RAMPS.
- FOR CURB RAMP TYPES 5 AND 6, IF A GRASS BUFFER DOES NOT EXIST, SLOPE CURB TO EQUAL SLOPE OF ADJACENT CURB RAMP.
- SIDEWALK AND CURB RAMP WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR CONCRETE SIDEWALK OF THE APPROPRIATE ADJACENT THICKNESS.
- CURB AND HEADER WITHIN AREA ENCLOSED BY HEAVY LINES INDICATES THE PAY LIMIT FOR VERTICAL CURB OR SLOPING CURB OF THE APPROPRIATE ADJACENT SIZE AND KIND.
- WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, USE CURB RAMP TYPE 7, INSTEAD OF CURB RAMP TYPE 1 THROUGH 4.
- CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED.
- THE 12H:1V MAX SLOPE IS THE RUNNING SLOPE FOR CURB RAMPS, BUT ONLY THE 12H:1V SLOPE MEASURED AS X2 IS THE RUNNING SLOPE FOR TYPE 3 AND TYPE 4 CURB RAMPS. ENSURE THE RUNNING SLOPE OF CURB RAMPS DOES NOT REQUIRE ITS LENGTH TO EXCEED 15 FEET. THE RUNNING SLOPE MAY EXCEED THE 12H:1V MAX SLOPE SO AS NOT TO EXCEED THE 15 FEET MAXIMUM LENGTH.
- CURB RAMP TYPE 1 THROUGH 7 ARE NORMALLY PLACED ON THE RADIUS RETURN AT THE INTERSECTION AND ON A TANGENT SECTION AS DRAWN.
- SIDEWALKS SHALL BE CONSTRUCTED WITH GRAY, CLASS C, AIR-ENTRAINED, PORTLAND CEMENT CONCRETE, HAVING A STRENGTH OF 3,450 P.S.I., UNLESS THE MUNICIPALITY DICTATES OTHERWISE. CLASS C REQUIRES A 1:2:4 MIX: ONE PART PORTLAND CEMENT, TWO PARTS SAND, AND FOUR PARTS CRUSHED STONE OR WASHED GRAVEL. THE SIDEWALK SHALL BE CONSTRUCTED TO A THICKNESS OF NOT LESS THAN FOUR (4) INCHES. WHERE THE SIDEWALK CROSSES OVER A DRIVEWAY, IT SHALL BE SIX (6) INCH REINFORCED CONCRETE.

**CONCRETE SIDEWALK, 4" THICK (SEE NOTE #11)**

5'-0" MIN. 8'-0" PREFERABLE, WHERE CURB IS NOT PRESENT, MINIMUM SHALL BE 8'-0" BEHIND THE EDGE OF PAVEMENT.

CLASS C CONCRETE

HOT POURED RUBBER-ASPHALT JOINT SEALER

1/2" PREFORMED EXPANSION JOINT FILLER

CONCRETE CURB RAMP, 4" THICK

CONCRETE CRADLE 4" WIDE (MONOLITHIC WITH CURB)

WITH THE SAME AS APPROACH CURB

**DROPPED CURB AND CRADLE**

CURB TO BE FLUSH WITH ROADWAY PAVEMENT

4" MINIMUM SIDEWALK TURNING SPACE WIDTH

**SECTION THROUGH CURB RAMPS 1 THROUGH 4**

CURB RAMP


12H:1V MAX. 2Z MAX.

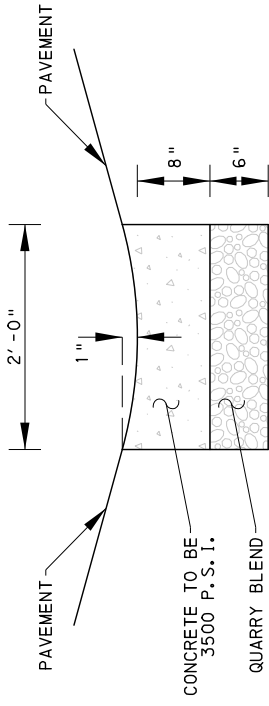
**SECTION THROUGH CURB RAMPS 5 AND 6**

VARIABLE LANDING OR TURNING SPACE

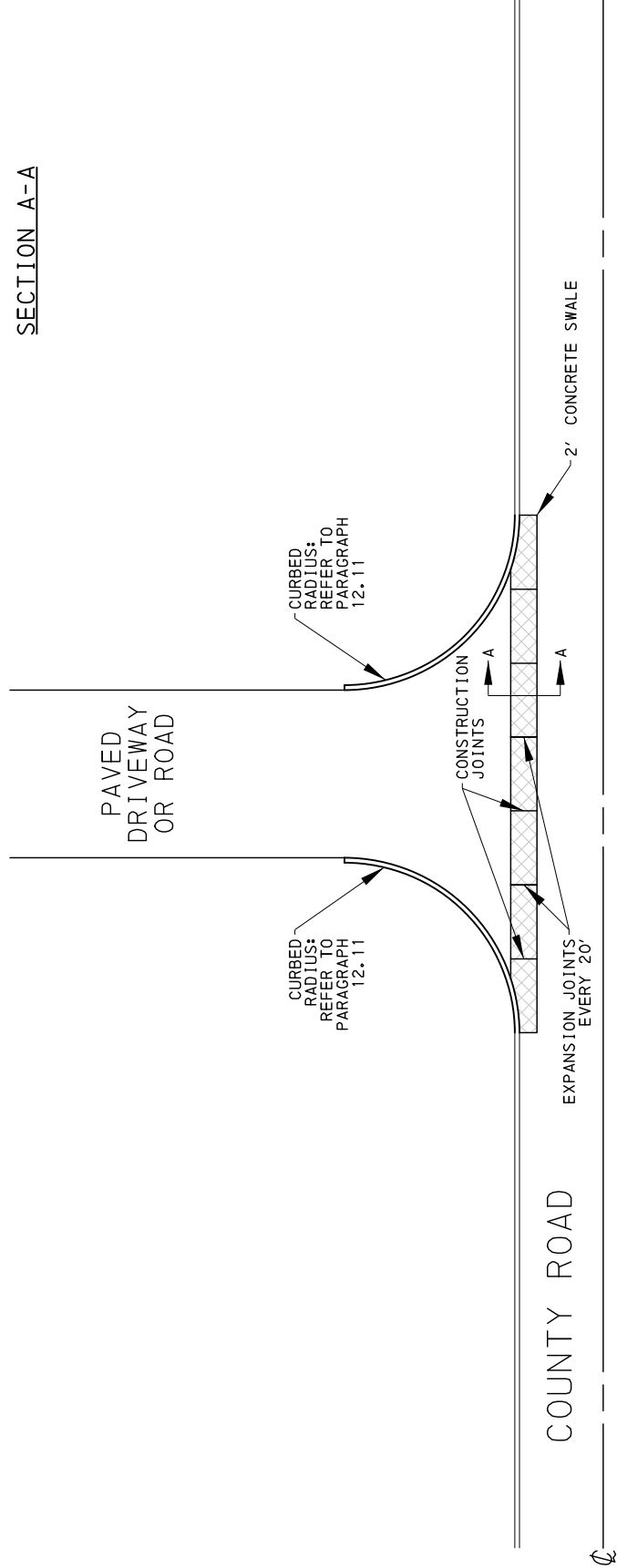
VARIABLE CURB RAMP

12H:1V MAX. 2Z MAX.

DATE: 02/01/2024	
DRAWN BY: J. B. H.	
CHECKED BY: D. S.	
SCALE: NONE	
FIGURE 20:	SIDEWALK AND CURB RAMP DETAIL
BURLINGTON COUNTY COUNTY ENGINEER	
JOSEPH T. BRICKLEY, P.E.	
1900 BRIGGS ROAD	
MT. LAUREL, NJ 08054	
	
REVISIONS	
No.	DATE



SECTION A-A



NOTES:

1. THE CONCRETE SWALE IS NOT TO BE USED IN PLACE OF STORM DRAINS; IT IS TO BE USED TO DRAIN WATER ACROSS THE INTERSECTION WHERE THE GUTTER GRADE IS LESS THAN 0.5%.



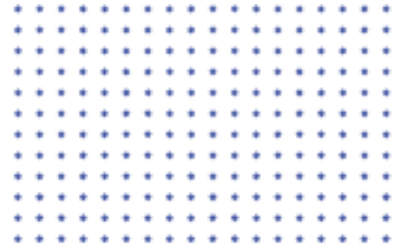
BURLINGTON COUNTY  
 JOSEPH T. BRICKLEY, P.E.  
 COUNTY ENGINEER  
 1900 BRIGGS ROAD  
 MT. LAUREL, NJ 08054

FIGURE 21:  
 CONCRETE SWALE  
 DETAIL

DATE: 02/01/2024  
 DRAWN BY: J. B. H.  
 CHECKED BY: D. S.  
 SCALE: NONE

No.	DATE	REVISIONS

# 18 APPENDIX A: APPLICATIONS AND CHECKLISTS



BURLINGTON COUNTY PLANNING BOARD  
EXEMPTION CERTIFICATION APPLICATION

One hard copy of this application is to be forwarded, along with one (1) electronic copy (PDF) of the site plan.

Mailing address, Burlington County Planning Board, P.O. Box 6000, Mount Holly, NJ 08060.

Hand deliver/FEDEX/UPS: 1900 Briggs Road, Mt. Laurel, NJ. 08054

Phone #856-642-3800.

1. Applicant's Name \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

2. Name of Present Owner \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

3. Name of Person Preparing Plan \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

4. Site Plan Name (if any) \_\_\_\_\_

5. Location of Site: Municipality \_\_\_\_\_  
Street or Road \_\_\_\_\_  
Tax Map Sheet \_\_\_\_\_ Tax Map Block \_\_\_\_\_ Tax Map Lot(s) \_\_\_\_\_

6. Area of Tract \_\_\_\_\_  
Area of Off-Street Parking \_\_\_\_\_  
New Impervious Cover Proposed \_\_\_\_\_  
Building Square Footage Proposed \_\_\_\_\_  
Number of Parking Spaces Proposed \_\_\_\_\_

7. Present Use \_\_\_\_\_ Present Zoning District \_\_\_\_\_

8. Proposed Uses:  
a. Multi-family Units \_\_\_\_\_ Number of Dwelling Units \_\_\_\_\_  
b. Commercial Use \_\_\_\_\_  
c. Industrial Use \_\_\_\_\_  
d. Other Use \_\_\_\_\_

9. Reason for exemption request; see section 2.02 of the Land Development Review  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

10. No fee for Exemption Certificate Application.

SIGNATURE OF APPLICANT/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

PRINT APPLICANT/AGENT'S NAME \_\_\_\_\_

BURLINGTON COUNTY PLANNING BOARD  
SKETCH SITE PLAN APPLICATION

One hard copy of this application is to be forwarded, along with one (1) electronic copy (PDF) of the site plan and other pertinent information as noted in the County Site Plan Checklist; and a check to cover the application fee.

Mailing address, Burlington County Planning Board, P.O. Box 6000, Mount Holly, NJ 08060.

Hand deliver/FEDEX/UPS: 1900 Briggs Road, Mt. Laurel, NJ. 08054

Phone #856-642-3800.

1. Applicant's Name \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

2. Name of Present Owner \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

3. Name of Person Preparing Plan \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

4. Name of Contact Person \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

5. Name of Attorney \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

6. Site Plan Name (if any) \_\_\_\_\_

7. Location of Site: Municipality \_\_\_\_\_  
Street or Road \_\_\_\_\_  
Tax Map Sheet \_\_\_\_\_ Tax Map Block \_\_\_\_\_ Tax Map Lot(s) \_\_\_\_\_

8. Area of Tract \_\_\_\_\_  
Area of Off-Street Parking \_\_\_\_\_  
New Impervious Cover Proposed \_\_\_\_\_  
Building Square Footage Proposed \_\_\_\_\_  
Number of Parking Spaces Proposed \_\_\_\_\_

9. Present Use \_\_\_\_\_ Present Zoning District \_\_\_\_\_

10. Proposed Uses:  
a. Multi-family Units \_\_\_\_\_ Number of Dwelling Units \_\_\_\_\_  
b. Commercial Use \_\_\_\_\_  
c. Industrial Use \_\_\_\_\_  
d. Other Use \_\_\_\_\_

11. Application fee is \$200.00 for a Sketch Site Plan Application. Only a check or money order is acceptable and should be made payable to the Burlington County Treasurer. **No cash will be accepted.**

SIGNATURE OF APPLICANT/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

PRINT APPLICANT/AGENT'S NAME \_\_\_\_\_

BURLINGTON COUNTY PLANNING BOARD  
SITE PLAN APPLICATION

One hard copy of this application is to be forwarded, along with one (1) electronic copy (PDF) of the site plan and other pertinent information as noted in the County Site Plan Checklist; and a check to cover the application fee.

Mailing address, Burlington County Planning Board, P.O. Box 6000, Mount Holly, NJ 08060.

Hand deliver/FEDEX/UPS: 1900 Briggs Road, Mt. Laurel, NJ. 08054

Phone #856-642-3800.

1. Applicant's Name \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

2. Name of Present Owner \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

3. Name of Person Preparing Plan \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

4. Name of Contact Person \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

5. Name of Attorney \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

6. Site Plan Name (if any) \_\_\_\_\_

7. Location of Site: Municipality \_\_\_\_\_  
Street or Road \_\_\_\_\_  
Tax Map Sheet \_\_\_\_\_ Tax Map Block \_\_\_\_\_ Tax Map Lot(s) \_\_\_\_\_

8. Area of Tract \_\_\_\_\_  
New Impervious Cover Proposed \_\_\_\_\_  
Total Impervious Area After Development \_\_\_\_\_  
Building Square Footage Proposed \_\_\_\_\_  
Number of Parking Spaces Proposed \_\_\_\_\_

9. Present Use \_\_\_\_\_ Present Zoning District \_\_\_\_\_

10. Proposed Uses:  
a. Multi-family Units \_\_\_\_\_ Number of Dwelling Units \_\_\_\_\_  
b. Commercial Use \_\_\_\_\_  
c. Industrial Use \_\_\_\_\_  
d. Other Use \_\_\_\_\_

11. Application Fee (see schedule on back) \_\_\_\_\_

Only a check or money order is acceptable and should be made payable to the Burlington County Treasurer.  
**No cash will be accepted.**

I certify that I have authority to submit this application and that the Township Planning Board has received the same submission.

SIGNATURE OF APPLICANT/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

PRINT APPLICANT/AGENT'S NAME \_\_\_\_\_

**PRELIMINARY SITE PLAN  
FEE SCHEDULE**

<u>APPLICATION</u>	<u>FEE</u>
Preapplication Meeting	No Fee
Exempt	No Fee
Minor Site Plans <sup>1</sup>	\$200.00
Sketch Plan	\$200.00
Final Plan	\$200.00

**Major Site Plans with frontage on or access to a County Road <sup>2</sup>**

Residential use	\$800.00 + \$10.00/Space	_____
Commercial use	\$800.00 + \$10.00/Space	_____
Industrial use	\$800.00 + \$10.00/Space	_____

**Major Site Plans with no frontage on or access to a County Road <sup>2</sup>**

Residential use	\$400.00 + \$6.00/Space	_____
Commercial use	\$400.00 + \$6.00/Space	_____
Industrial use	\$400.00 + \$6.00/Space	_____

**Notes:**

<sup>1</sup> See definition in Chapter 3 of Land Development Review Resolution

<sup>2</sup> Both tractor trailer and car parking spaces are to be included in fee calculations. Warehouse loading bays are not to be included in the calculations.

1. Fill in the blank to calculate the fee for major site plans. Note fee on front of application.
2. Please make checks payable to the **Burlington County Treasurer**.

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**FOR OFFICIAL USE ONLY**

ENGINEER CHECKING FEE CALCULATION \_\_\_\_\_ DATE \_\_\_\_\_

CORRECT FEE AMOUNT RECEIVED \_\_\_\_\_

CHECK NUMBER \_\_\_\_\_ RECEIPT # \_\_\_\_\_

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BURLINGTON COUNTY PLANNING BOARD  
SKETCH SUBDIVISION (PLAT) APPLICATION

One hard copy of this application is to be forwarded, along with one (1) electronic copy (PDF) of the subdivision plat and other pertinent information as noted in the County Preliminary Subdivision Checklist; and a check to cover the application fee.

Mailing address, Burlington County Planning Board, P.O. Box 6000, Mount Holly, NJ 08060.

Hand deliver/FEDEX/UPS: 1900 Briggs Road, Mt. Laurel, NJ. 08054

Phone #856-642-3800.

1. Applicant's Name \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

2. Name of Present Owner \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

3. Name of Person Preparing Plat \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

4. Name of Contact Person \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

5. Name of Attorney \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

6. Subdivision Name (if any) \_\_\_\_\_

7. Location of Subdivision: Municipality \_\_\_\_\_ Street or Road \_\_\_\_\_  
County Route # \_\_\_\_\_ Tax Map Sheet \_\_\_\_\_ Tax Map Block \_\_\_\_\_ Tax Map Lot \_\_\_\_\_

8. Number of Proposed Lots (including remainder) \_\_\_\_\_

9. Area of Entire Tract \_\_\_\_\_ Area Being Conveyed by Present Owner \_\_\_\_\_

10. Present Use \_\_\_\_\_ Present Zoning District \_\_\_\_\_

11. Proposed Use:

- a. Single Family \_\_\_\_\_ # of units
- b. Townhouses \_\_\_\_\_ # of units
- c. Condominiums \_\_\_\_\_ # of units
- d. Apartments \_\_\_\_\_ # of units
- e. Other Residential \_\_\_\_\_ type and number
- f. Commercial \_\_\_\_\_ # of lots \_\_\_\_\_ building square feet
- g. Industrial \_\_\_\_\_ # of lots \_\_\_\_\_ building square feet
- h. Other Construction (explain) \_\_\_\_\_

12. Proposed Use of Retained Property \_\_\_\_\_

13. Application fee is \$200.00 for a Sketch Subdivision (Plat) Application. Only a check or money order is acceptable and should be made payable to the Burlington County Treasurer. **No cash will be accepted.**

SIGNATURE OF APPLICANT/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

PRINT APPLICANT/AGENT'S NAME \_\_\_\_\_

BURLINGTON COUNTY PLANNING BOARD  
PRELIMINARY SUBDIVISION APPLICATION

One hard copy of this application is to be forwarded, along with one (1) electronic copy (PDF) of the subdivision plan and other pertinent information as noted in the County Preliminary Subdivision Checklist; and a check to cover the application fee.

Mailing address, Burlington County Planning Board, P.O. Box 6000, Mount Holly, NJ 08060.

Hand deliver/FEDEX/UPS: 1900 Briggs Road, Mt. Laurel, NJ. 08054

Phone #856-642-3800.

1. Applicant's Name \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

2. Name of Present Owner \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

3. Name of Person Preparing Plan \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

4. Name of Contact Person \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

5. Name of Attorney \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

6. Subdivision Name (if any) \_\_\_\_\_

7. Location of Subdivision: Municipality \_\_\_\_\_ Street or Road \_\_\_\_\_  
County Route # \_\_\_\_\_ Tax Map Sheet \_\_\_\_\_ Tax Map Block \_\_\_\_\_ Tax Map Lot \_\_\_\_\_

8. Number of Proposed Lots (including remainder) \_\_\_\_\_

9. Area of Entire Tract \_\_\_\_\_ Area Being Conveyed by Present Owner \_\_\_\_\_

10. Present Use \_\_\_\_\_ Present Zoning District \_\_\_\_\_

11. Proposed Use:  
a. Single Family \_\_\_\_\_ # of units      b. Townhouses \_\_\_\_\_ # of units  
c. Condominiums \_\_\_\_\_ # of units      d. Apartments \_\_\_\_\_ # of units  
e. Other Residential \_\_\_\_\_ type and number  
f. Commercial \_\_\_\_\_ # of lots \_\_\_\_\_ building square feet  
g. Industrial \_\_\_\_\_ # of lots \_\_\_\_\_ building square feet  
h. Other Construction (explain) \_\_\_\_\_

12. Proposed Use of Retained Property \_\_\_\_\_

13. Application Fee (see schedule on back) \_\_\_\_\_

Only a check or money order is acceptable and should be made payable to the Burlington County Treasurer.  
**No cash will be accepted.**

I certify that I have authority to submit this application and that the Township Planning Board has received the same submission.

SIGNATURE OF APPLICANT/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

PRINT APPLICANT/AGENT'S NAME \_\_\_\_\_

**PRELIMINARY SUBDIVISION  
FEE SCHEDULE**

<u>APPLICATION</u>		<u>FEE</u>
Preapplication Meeting		No Fee
Exempt		No Fee
Minor Subdivisions <sup>1</sup>		\$200.00
<b>Major Subdivisions with frontage on or access to a County Road:</b>		
Sketch Plat		\$200.00
Preliminary Plan <sup>2, 3</sup>		
Residential use	\$800.00 + \$20.00/Lot	_____
Commercial use	\$800.00 + \$30.00/acre	_____
Industrial use	\$800.00 + \$20.00/acre	_____
<b>Major subdivision with no frontage on or access to a County Road:</b>		
Sketch Plat		\$200.00
Preliminary Plan <sup>2, 3</sup>		
Residential use	\$400.00 + \$20.00/Lot	_____
Commercial use	\$400.00 + \$15.00/acre	_____
Industrial use	\$400.00 + \$10.00/acre	_____

**Notes:**

<sup>1</sup> See definition in Chapter 3 of Land Development Review Resolution

<sup>2</sup> Uses which combine residential and commercial uses shall apply the commercial rate to the commercial space and the residential rate to the residential space.

<sup>3</sup> The commercial rate shall apply to developments which combine commercial and industrial uses.

1. Fill in the blank to calculate the fee for major subdivisions. Note fee on front of application.
2. Please make checks payable to the **Burlington County Treasurer**.

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**FOR OFFICIAL USE ONLY**

ENGINEER CHECKING FEE CALCULATION \_\_\_\_\_ DATE \_\_\_\_\_

CORRECT FEE AMOUNT RECEIVED \_\_\_\_\_

CHECK NUMBER \_\_\_\_\_ RECEIPT # \_\_\_\_\_

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BURLINGTON COUNTY PLANNING BOARD  
FINAL SUBDIVISION (PLAT) APPLICATION

One hard copy of this application is to be forwarded, along with one (1) electronic copy (PDF) of the subdivision plan and other pertinent information as noted in the County Final Subdivision (Plat) Check List; and a check to cover the application fee.

Mailing address, Burlington County Planning Board, P.O. Box 6000, Mount Holly, NJ 08060.

Hand deliver/FEDEX/UPS: 1900 Briggs Road, Mt. Laurel, NJ 08054.

Phone #856-642-3800.

1. Applicant's Name \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

2. Name of Present Owner \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

3. Name of Person Preparing Plat \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

4. Name of Contact Person \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

5. Name of Attorney \_\_\_\_\_  
Street & No. \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
Phone \_\_\_\_\_ Fax \_\_\_\_\_ E-Mail Address \_\_\_\_\_

6. Subdivision Name (if any) \_\_\_\_\_

7. Location of Subdivision: Municipality \_\_\_\_\_  
Street or Road \_\_\_\_\_  
Names of Newly Created Streets or Roads \_\_\_\_\_

Original Tax Map Block \_\_\_\_\_ Tax Map Lot \_\_\_\_\_ Tax Map Sheet \_\_\_\_\_

Newly Created:

Block Numbers

Lot Numbers

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

8. Total Number of Proposed Lots and Open Spaces \_\_\_\_\_

9. Total Area of Tract/Section \_\_\_\_\_

10. Proposed Uses:

Residential \_\_\_\_\_ Multi Family \_\_\_\_\_ Commercial \_\_\_\_\_

Industrial \_\_\_\_\_ Other \_\_\_\_\_

Application fee:

\$400.00 for a Major Final Plat

\$200.00 for a Minor Final Plat

Only a check or money order is acceptable and should be made payable to the Burlington County Treasurer.

**No cash will be accepted.**

SIGNATURE OF APPLICANT/AGENT \_\_\_\_\_ DATE \_\_\_\_\_

PRINT APPLICANT/AGENT'S NAME \_\_\_\_\_

FOR OFFICIAL USE ONLY

ENGINEER CHECKING FEE CALCULATION \_\_\_\_\_ DATE \_\_\_\_\_

CORRECT FEE AMOUNT RECEIVED \_\_\_\_\_

CHECK NUMBER \_\_\_\_\_ RECEIPT # \_\_\_\_\_

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**BURLINGTON COUNTY PLANNING BOARD**

**SKETCH SITE PLAN CHECKLIST**

**B.C.P.B. FILE # \_\_\_\_\_**

Each checklist item has a reference to a paragraph in the Burlington County Land Development Review Resolution.

- ( ) 1. Completed and signed application form. (8.02.1)
- ( ) 2. Application Fee \$200.00. (11.03 & 11.11)
- ( ) 3. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us) (8.02.2)
- ( ) 4. Signature and seal of a New Jersey licensed Professional Engineer or Registered Architect shall be on all plans and documents submitted. (8.02.2a)
- ( ) 5. The name and address of the person preparing the plan must be printed under the signature or in the title block. (8.02.2a)
- ( ) 6. The sketch Site Plan shall include the following information:
  - ( ) A. Date of preparation and a revision date for each revision. (8.02.2b)
  - ( ) B. North Arrow. (8.02.2c)
  - ( ) C. Scale clearly noted. (8.02.2d)
  - ( ) D. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches. (8.02.2e)
  - ( ) E. Road names and route numbers on all existing roads. (8.02.2f)
  - ( ) F. Name of the land development and the municipality in which it is located. (8.02.2g)
  - ( ) G. Name and address of the owner and developer of the property. (8.02.2h)
  - ( ) H. Total area of the land development. (8.02.2i)
  - ( ) I. Tax map sheet, block and lot number. (8.02.2j)
  - ( ) j. The municipal zoning district. (8.02.2k)
  - ( ) k. The number of existing and proposed units and/or floor space. (8.02.2l)
  - ( ) l. The approximate location of existing and proposed property lines. (8.02.2m)
  - ( ) m. Existing and proposed right-of-way width dimensioned with respect to centerline. (8.02.2n)

**BURLINGTON COUNTY PLANNING BOARD**

**MINOR SITE PLAN CHECKLIST**

**B.C.P.B. FILE # \_\_\_\_\_**

Each checklist item has a reference to a paragraph in the Burlington County Land Development Review Resolution.

- ( ) 1. Completed and signed application form. (6.01)
- ( ) 2. Application Fee \$200.00. (11.03 & 11.11)
- ( ) 3. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us) (6.01)
- ( ) 4. Pinelands certificate of filing or approval when the site is in Pinelands. (6.01)
- ( ) 5. All plans submitted must be drawn at a scale of not less than 1" = 50' unless otherwise approved prior to submission. (6.02)
- ( ) 6. Signature and seal of a New Jersey licensed Professional Engineer or Registered Architect shall be on all plans and documents submitted. (6.02.1)
- ( ) 7. The name and address of the person preparing the plans must be printed under the signature or in the title block. (6.02.2)

The site plan shall include the following information:

- ( ) 8. Date of preparation and a revision date for each revision. (6.02.3)
- ( ) 9. North Arrow. (6.02.4)
- ( ) 10. Scale clearly noted. (6.02.5)
- ( ) 11. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches. (6.02.6)
- ( ) 12. Road names and route numbers on all roads. (6.02.7)
- ( ) 13. Name of the land development and the municipality in which it is located. (6.02.8)
- ( ) 14. Name and address of the owner and developer of the property. (6.02.9)
- ( ) 15. Total area of the land development. (6.02.10)
- ( ) 16. The number of existing and proposed units and/or floor space. (6.02.11)
- ( ) 17. The municipal zoning district. (6.02.12)
- ( ) 18. Tax map sheet, block and lot number. (6.02.13)
- ( ) 19. A general indication (by use of arrows) of the direction of drainage flow. (6.02.14)
- ( ) 20. Existing and proposed right-of-way width dimensioned with respect to centerline. (6.02.15)
- ( ) 21. Ultimate right-of-way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvprc.org/webmaps/bchmp/>). (6.02.16)

- ( ) 22. An outbound survey of the site showing the location of existing property lines, and identifying the source of the survey. (6.02.17)
- ( ) 23. Location of existing water courses and their associated flood plains. (6.02.18)
- ( ) 24. Location of existing and proposed storm sewer facilities. (6.02.19)
- ( ) 25. A clear statement of the use proposed for the site. (6.02.20)
- ( ) 26. Location of existing and proposed driveways, streets, curb, and sidewalk. (6.02.21)
- ( ) 27. Additional Comments:

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**BURLINGTON COUNTY PLANNING BOARD**

**MAJOR SITE PLAN CHECKLIST**

**B.C.P.B. FILE #** \_\_\_\_\_

Each checklist item has a reference to a paragraph in the Burlington County Land Development Review Resolution.

- ( ) 1. Completed and signed application form. (6.01)
- ( ) 2. Correct application fee \$ \_\_\_\_\_. (11.03 & 11.11)
- ( ) 3. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us) (6.01)
- ( ) 4. Pinelands certificate of filing or approval when the site is in Pinelands. (6.01)
- ( ) 5. All plans submitted must be drawn at a scale of not less than 1" = 50' unless otherwise approved prior to submission. (6.03)
- ( ) 6. If more than one (1) sheet is required to show the entire site plan, a separate composite map shall be drawn showing the entire development at a scale of not less than 1" = 100' or 1" = 200'. (6.03.1)
- ( ) 7. Signature and seal of a New Jersey licensed Professional Engineer or Registered Architect shall be on all plans and documents submitted. (6.03.2)
- ( ) 8. The name and address of the person preparing the plan must be printed under the signature or in the title block. (6.03.3)
- ( ) 9. Date of preparation and a revision date for each revision. (6.03.4)
- ( ) 10. North Arrow. (6.03.5)
- ( ) 11. Scale clearly noted on all plans. (6.03.6)

All Site and composite plans shall include the following:

- ( ) 12. Road names and route numbers on all existing and proposed roadways. (6.03A.7)
- ( ) 13. Name of the land development and the municipality in which it is located. (6.03A.8)
- ( ) 14. Name and address of the owner and the developer of the property. (6.03A.9)
- ( ) 15. Total area of the development. (6.03A.10)
- ( ) 16. Total number of existing and proposed units and/or floor space. (6.03A.11)
- ( ) 17. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches. (6.03A.12)
- ( ) 18. Tax map sheet, block and lot number. (6.03A.13)
- ( ) 19. An outbound survey of the site showing the location of existing property lines, and identifying the source of the survey. (6.03A.14)
- ( ) 20. The municipal zoning district. (6.03A.15)

- ( ) 21. Location of existing and proposed driveways, parking areas (including proposed number of spaces) and buildings. Statement of the proposed use of each building. (6.03A.16)
- ( ) 22. Existing and proposed right-of-way width dimensioned with respect to centerline. (6.03A.17)
- ( ) 23. Ultimate right-of-way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvprc.org/webmaps/bchmp/>). (6.03A.18)
- ( ) 24. Location of existing water courses and their associated flood plains. (6.03A.19)
- ( ) 25. Existing and proposed contours and/or spot elevations sufficient to determine the grading of the site. (6.03A.20)

Applications shall include the submission of the following additional plans, where appropriate:

- ( ) 26. Detailed plans of work to be done in the County right-of-way shall be drawn at a scale of no less than 1" = 30', and shall include the following information: (6.03B.21)
  - ( ) A. Existing spot elevations every 25 feet on the centerline and edge of existing pavement extending at least 100 feet beyond the proposed improvements. (6.03B.21A)
  - ( ) B. Proposed spot elevations every 25 feet in the gutter and top of curb. (6.03B.21B)
  - ( ) C. Existing and proposed underground utilities and utility poles. (6.03B.21C)
  - ( ) D. Existing and proposed drainage facilities showing size, type, slope, invert and grate elevations. (6.03B.21D)
  - ( ) E. Existing and proposed pavement markings, signs and traffic control devices. (6.03B.21E)
  - ( ) F. At least two (2) permanent benchmarks based on NGS datum are required for the following developments. (6.03B.21F)
 

<u>Area</u>	<u>Distance to Nearest Vertical Control</u>
less than 2 acres	1 mile
2-50 acres	5 miles
Over 50 acres	10 miles
  - ( ) G. Separate striping plan where new striping is proposed. (6.03B.21G)
  - ( ) H. Typical county curb and paving detail. (6.03B.21H)
- ( ) 27. Cross sections are required every 100 feet where widening of a county road is proposed, showing existing and proposed grades. Additional cross sections will be required at critical locations and where a large change in grade occurs adjacent to County right-of-way. Cross sections should be at a scale of 1" = 10' horizontal and 1" = 2' vertical. (6.03B.22)
- ( ) 28. Soil erosion and sediment control plan. (6.03B.23)
- ( ) 29. Overall drainage plan showing existing and proposed drainage facilities. (6.03B.24)
- ( ) 30. Drainage area map (pre-developed and post-developed) showing a number for each area, size of each area, and the existing and proposed drainage facilities. (6.03B.25)
- ( ) 31. Overall utility plan showing all existing and proposed utilities. (6.03B.26)

- ( ) 32. Standard details such as curbing, paving, inlets, manholes, etc. (6.03B.27)
- ( ) 33. Drainage calculations for total undeveloped and developed runoff, storm sewer design, basin design, hydrographs, etc. Proposed retention/recharge systems must have at least one (1) soil profile and percolation test within the limits of the system. (6.03B.28)
- ( ) 34. Traffic study where required by this Resolution. (6.03B.29)
- ( ) 35. Detailed plans and specifications for all proposed box culverts and bridges which may become structures under County jurisdiction or improvements to existing County box culverts or bridges. Where applicable, the plans shall also be accompanied by the approval or waiver of the agencies listed in Chapter 14. (6.03B.30)
- ( ) 36. Additional Comments:

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**BURLINGTON COUNTY PLANNING BOARD**

**SKETCH SUBDIVISION (PLAT) CHECKLIST**

**B.C.P.B. FILE # \_\_\_\_\_**

Each checklist item has a reference to a paragraph in the Burlington County Land Development Review Resolution.

- ( ) 1. Completed and signed application form. (8.01.1)
- ( ) 2. Application Fee \$200.00. (11.03 & 11.10)
- ( ) 3. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us) (8.01.2)
- ( ) 4. Signature and seal of a New Jersey licensed Professional Land Surveyor, Professional Engineer, Registered Architect or Landscape Architect shall be on all plans and documents submitted. (8.01.2)
- ( ) 5. The name and address of the person preparing the plan must be printed under the signature or in the title block. (8.01.2)
- ( ) 6. The sketch subdivision (plat) shall include the following information:
  - ( ) A. Date of preparation and a revision date for each revision. (8.01.2a)
  - ( ) B. North Arrow. (8.01.2a)
  - ( ) C. Scale clearly noted. (8.01.2a)
  - ( ) D. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches. (8.01.2f)
  - ( ) E. Road names and route numbers on all existing roads. (8.01.2a)
  - ( ) F. Name of the land development and the municipality in which it is located. (8.01.2b)
  - ( ) G. Name and address of the owner and developer of the property. (8.01.2c)
  - ( ) H. Total area of the land development to the nearest tenth of an acre. (8.01.2d)
  - ( ) I. Tax map sheet, block and lot number. (8.01.2g)
  - ( ) j. The municipal zoning district. (8.01.2j)
  - ( ) k. Statement of the proposed number of lots. (8.01.2e)
  - ( ) l. The approximate location of existing and proposed property lines. (8.01.2h)
  - ( ) m. Existing and proposed right-of-way width dimensioned with respect to centerline. (8.01.2i)

**BURLINGTON COUNTY PLANNING BOARD**

**MINOR SUBDIVISION CHECKLIST**

**B.C.P.B. FILE # \_\_\_\_\_**

Each checklist item has a reference to a paragraph in the Burlington County Land Development Review Resolution.

- ( ) 1. Completed and signed application form. (7.01)
- ( ) 2. Application Fee \$200.00. (11.03 & 11.10)
- ( ) 3. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us) (7.01)
- ( ) 4. Pinelands certificate of filing or approval when the property is in Pinelands. (7.01)
- ( ) 5. All plans submitted must be drawn at the scale indicated below unless otherwise approved prior to submission: (7.02)

<u>Area</u>	<u>Scale</u>
less than 20 acres	not less than 1" = 50'
20 - 100 acres	not less than 1" = 100'
more than 100 acres	not less than 1" = 200'

(The entire area involved in the subdivision must be drawn at the proper scale, not just the subdivided portion.)

The subdivision plans shall include the following information:

- ( ) 6. Signature and seal of a New Jersey licensed Professional Land Surveyor shall be on all plans and documents submitted. (7.02.1)
- ( ) 7. The name and address of the person preparing the plans must be printed under the signature or in the title block. (7.02.2)
- ( ) 8. Date of preparation and a revision date for each revision. (7.02.3)
- ( ) 9. North Arrow. (7.02.4)
- ( ) 10. Scale clearly noted. (7.02.5)
- ( ) 11. Key map at a scale of 1"=2000' showing an area of not less than 4 x 4 inches. (7.02.6)
- ( ) 12. Road names and route numbers on all roads. (7.02.7)
- ( ) 13. Name of the land development and the municipality in which it is located. (7.02.8)
- ( ) 14. Name and address of the owner and developer of the property. (7.02.9)
- ( ) 15. Total area of the development and the area of each proposed lot. (7.02.10)
- ( ) 16. Tax map sheet, block and lot number. (7.02.11)
- ( ) 17. The municipal zoning district. (7.02.12)

- ( ) 18. Outbound property description based on deeds, and outbound survey of the subdivided lot(s). (7.02.13)
- ( ) 19. Clearly note which lot lines are proposed, and which lot lines are to be removed. (7.02.14)
- ( ) 20. Existing and proposed right-of-way width dimensioned with respect to centerline. (7.02.15)
- ( ) 21. Ultimate right-of-way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvprc.org/webmaps/bchmp/>). (7.02.16)
- ( ) 22. Existing and proposed driveway locations. (7.02.17)
- ( ) 23. Signature block of the Chairperson of the County Planning Board clearly worded. (5.15)
- ( ) 24. Proposed lot numbers for each lot involved in the subdivision. (7.02.19)
- ( ) 25. Additional Comments:

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**BURLINGTON COUNTY PLANNING BOARD**

**MAJOR SUBDIVISION CHECKLIST**

**B.C.P.B. FILE #** \_\_\_\_\_

Each checklist item has a reference to a paragraph in the Burlington County Land Development Review Resolution.

- ( ) 1. Completed and signed application form. (7.01)
- ( ) 2. Correct application fee \$ \_\_\_\_\_. (11.03 & 11.10)
- ( ) 3. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us) (7.01)
- ( ) 4. Pinelands certificate of filing or approval when the property is in Pinelands. (7.01)
- ( ) 5. The preliminary subdivision plans submitted must be drawn at the scale indicated below unless otherwise approved prior to submission: (7.04)

<u>Area</u>	<u>Scale</u>
less than 20 acres	not less than 1" = 50'
20 - 100 acres	not less than 1" = 100'
more than 100 acres	not less than 1" = 200'

If more than one (1) sheet is required to show the entire site plan, a separate composite map shall be drawn showing the entire development at a scale of not less than 1" = 100' or 1" = 200'.

- ( ) 6. Signature and seal of a New Jersey licensed Professional Land Surveyor on the preliminary subdivision plan or on an outbound survey plan to accompany the application. (7.05.1)
- ( ) 7. The name and address of the person preparing the plans must be printed under the signature or in the title block. (7.05.2)
- ( ) 8. If the subdivision involves the design and determination of new streets, drainage, utilities, pavement construction, etc., then the plans must also be signed and sealed by a New Jersey licensed Professional Engineer. (7.05.3)
- ( ) 9. Date of preparation and a revision date for each revision. (7.05.4)
- ( ) 10. North Arrow. (7.05.5)
- ( ) 11. Scale clearly noted. (7.05.6)

The subdivision plan and overall plan shall also include the following information:

- ( ) 12. Road names and route numbers on all existing and proposed roadways. (7.06.7)
- ( ) 13. Name of the land development and the municipality in which it is located. (7.06.8)
- ( ) 14. Name and address of the owner and developer of the property. (7.06.9)
- ( ) 15. Total area of development and the area of each proposed lot. (7.06.10)
- ( ) 16. Total number of lots, buildings, open space and remainder. (7.06.11)

- ( ) 17. Key map at a scale of 1"=2000' showing an area of not less than 4x4 inches. (7.06.12)
- ( ) 18. Tax map sheet, block and lot number. (7.06.13)
- ( ) 19. The municipal zoning district. (7.06.14)
- ( ) 20. Signature block of the Chairperson of the County Planning Board clearly worded. (5.15)
- ( ) 21. Outbound property description based on deeds, and outbound survey of the subdivided lot(s). (7.06.16)
- ( ) 22. Existing and proposed contours. (7.06.17)
- ( ) 23. Existing and proposed right-of-way width dimensioned with respect to centerline. (7.06.18)
- ( ) 24. Ultimate right-of-way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvprc.org/webmaps/bchmp/>). (7.06.19)
- ( ) 25. Correct wording for right-of-way dedication to Burlington County. (7.06.20)
- ( ) 26. Location of existing water courses and their associated flood plains. (7.06.21)
- ( ) 27. Proposed lot numbers for each lot involved In the subdivision. (7.06.22)

Application shall include the submission of the following additional plans, where appropriate:

- ( ) 28. Detailed plans of work to be done in the County right-of-way shall be drawn at a scale of no less than 1" = 30', and shall include the following information: (7.07.23)
  - ( ) A. Existing spot elevations every 25 feet on the centerline and edge of existing pavement to extend at least 100 feet beyond the proposed improvements. (7.07.23A)
  - ( ) B. Proposed spot elevations every 25 feet in the gutter and at top of curb, and at each end of curb radii. (7.07.23B)
  - ( ) C. When paved shoulders are required with no curbing, existing and proposed spot elevations every 50 feet will be sufficient. (7.07.23C)
  - ( ) D. Existing and proposed underground utilities and utility poles. (7.07.23D)
  - ( ) E. Existing and proposed drainage facilities showing size, type, slope, invert and grate elevations. (7.07.23E)
  - ( ) F. Existing and proposed pavement markings, signs and traffic control devices. (7.07.23F)
  - ( ) G. At least two (2) permanent benchmarks based on NGS datum are required for the following developments. (7.07.23G)

<u>Area</u>	<u>Distance to Nearest Vertical Control</u>
4 – 10 Lots	1 mile
11 – 50 Lots	5 miles
50+ Lots	10 miles

- ( ) H. Separate striping plan where new striping is proposed. (7.07.23H)

- ( ) I. Typical county curb and paving detail (See figures in Chapter 17). (7.07.23I)
- ( ) 29. Cross sections are required every 100 feet where widening of a county road is proposed, showing existing and proposed grades. Additional cross sections will be required at critical locations and where a large change in grade occurs adjacent to County right-of-way. Cross sections should be at a scale of 1" = 10' horizontal and 1" = 2' vertical. (7.07.24)
- ( ) 30. Profiles and typical cross sections of proposed streets. (7.07.25)
- ( ) 31. Soil erosion and sediment control plan; location and general extent of wooded features, bodies of water and other physical features. (7.07.26)
- ( ) 32. Overall drainage plan showing all existing and proposed drainage facilities, labels. (7.07.27)
- ( ) 33. Overall utility plan showing all existing and proposed utilities. (7.07.28)
- ( ) 34. Off-site utility plan, at a scale of 1"=50', for extensions to utilities along county roads. (7.07.29)
- ( ) 35. Standard details such as inlets, manholes, typical paving sections, etc. (7.07.30)
- ( ) 36. Drainage area map showing a number for each area, size of each area, and the existing and proposed drainage facilities. (7.07.31)
- ( ) 37. Drainage calculations for the total undeveloped and developed runoff, storm sewer design, basin design, hydrographs, etc. (7.07.32)
- ( ) 38. Traffic study where required by this Resolution. (7.07.33)
- ( ) 39. Additional Comments:

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**BURLINGTON COUNTY PLANNING BOARD**

**FINAL SUBDIVISION CHECKLIST**

**B.C.P.B. FILE # \_\_\_\_\_**

Each checklist item has a reference to a paragraph in the Burlington County Land Development Review Resolution.

- ( ) 1. Completed and signed application form. (7.08)
- ( ) 2. Application Fee:       Minor \$200.00. (11.03 & 11.10)  
                                  Major \$400.00.
- ( ) 3. One (1) legible print of plans of developments with or without frontage on a County road and one (1) electronic copy (PDF) of the submission sent to [planning@co.burlington.nj.us](mailto:planning@co.burlington.nj.us) (7.08)
- ( ) 4. Pinelands certificate of filing or approval when the property is in Pinelands. (7.08)
- ( ) 5. All plans submitted must be drawn at the scale indicated below unless otherwise approved prior to submission: (7.09)

<u>Area</u>	<u>Scale</u>
less than 20 acres	not less than 1" = 50'
20 - 100 acres	not less than 1" = 100'
more than 100 acres	not less than 1" = 200'

(The entire area involved in the subdivision must be drawn at the proper scale, not just the subdivided portion.)

The final subdivision plat shall include the following information:

- ( ) 6. Signature and seal of a New Jersey licensed Professional Land Surveyor shall be on all plats. (7.09.1)
- ( ) 7. The name and address of the person preparing the plat must be printed under the signature or in the title block. (7.09.2)
- ( ) 8. Date of preparation and a revision date for each revision. (7.09.3)
- ( ) 9. North Arrow. (7.09.4)
- ( ) 10. Scale clearly noted. (7.09.5)
- ( ) 11. Road names and route numbers on all roads. (7.09.6)
- ( ) 12. Name of the land development and the municipality in which it is located. (7.09.7)
- ( ) 13. Name and address of the owner and developer of the property. (7.09.8)
- ( ) 14. The total area of the development or section and the area of each proposed lot. (7.09.9)
- ( ) 15. Tax map sheet, block and lot number. (7.09.10)
- ( ) 16. Clearly note which lot lines are proposed, and which lot lines are to be removed. (7.09.11)
- ( ) 17. Existing and proposed right-of-way width dimensioned with respect to centerline. (7.09.12)

- ( ) 18. Ultimate right-of-way (UROW) dimensioned with respect to centerline as per Burlington County Highway Master Plan (<https://www.dvprc.org/webmaps/bchmp/>). (7.09.13)
- ( ) 19. Signature block of the Chairperson of the County Planning Board clearly worded. (5.15)
- ( ) 20. A statement of the proposed number of lots, open space and other lots, including the final number remaining after completion of the development or section. (7.09.15)
- ( ) 21. Designation of a lot and block number for each new lot. (7.09.16)
- ( ) 22. Correct wording for right-of-way dedication to Burlington County. (7.09.17)
- ( ) 23. Location of proposed monuments as required by the Map Filing Law. (7.09.18)
- ( ) 24. All items required by the Map Filing Law to be on the plat. *(Not an LDRR requirement, but will be required prior to signing of the plat.)*

When final section plans are submitted for approval of improvement plans, the following information should also be included:

- ( ) 25. Utility Plan. (7.10.19)
- ( ) 26. Drainage Plan and its associated calculations. (7.10.20)
- ( ) 27. County Road Improvement Plans when not approved at the Preliminary Plan stage. (7.10.21)
- ( ) 28. Additional Comments:

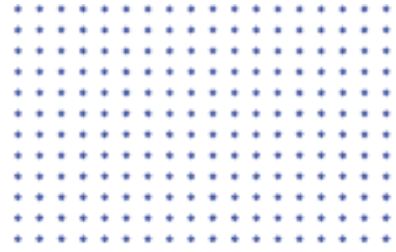
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# 19 APPENDIX B: SAMPLE DOCUMENTS



Prepared by:

\_\_\_\_\_

**DEED OF EASEMENT**

THIS INDENTURE, made this \_\_\_ day of \_\_\_\_\_, 20\_\_, by and between \_\_\_\_\_ (hereinafter "**Grantor**"), and **BOARD OF COUNTY COMMISSIONERS OF THE COUNTY OF BURLINGTON**, a body politic and corporate of the State of New Jersey, having offices at 49 Rancocas Road, Mount Holly, New Jersey 08060 (hereinafter "**Grantee**");

WITNESSETH:

WHEREAS, the **Grantor** covenants and warrants that **Grantor** is the owner in fee simple of land in the \_\_\_\_\_ of \_\_\_\_\_, County of Burlington and State of New Jersey, designated on the Tax Map of \_\_\_\_\_ as Block \_\_\_\_\_, Lot \_\_\_\_\_; and

WHEREAS, the **Grantee** is desirous of obtaining a non-exclusive easement through a portion of the land of the **Grantor** for the purpose of \_\_\_\_\_; and

WHEREAS, the **Grantee** has evidenced its desire to accept this easement by approval of the Burlington County Planning Board Application # \_\_\_\_\_, acted on \_\_\_\_\_, 20\_\_; now, therefore

IN CONSIDERATION of the sum of one dollar (\$1.00) and other good and valuable consideration, paid by the **Grantee** to the **Grantor**, the receipt whereof is hereby acknowledged, the **Grantor** does hereby grant, bargain, sell, assign, release, convey and confirm unto the **Grantee**, its successors and assigns, forever and full perpetual right to the following easement located in the \_\_\_\_\_ of \_\_\_\_\_, County of Burlington and State of New Jersey, and being more particularly described in Schedule "A" attached hereto and incorporated herein.

BEING a portion of the same lands and premises, title to which became vested in **Grantor** by deed dated

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\_\_\_\_\_.

THE **GRANTOR** grants and conveys to the **Grantee**, and to **Grantee's** heirs, successors, legal representatives and assigns an easement in perpetuity in, under, through, upon, over and across the servient estate with full rights, privileges and authority for the **Grantee**, its agents, contractors, employees and servants to enter upon the same from time to time with such free and unlimited access to ingress and egress in, from and over all points of said non-exclusive easement area without notice to **Grantor** as is reasonable and necessary with machines, vehicles, tools, implements and materials for the purpose of (as appropriate for this particular easement) inspecting, locating, constructing, extending, installing, rebuilding, repairing, maintaining, replacing, cleaning and laying materials therein and thereon of every kind and description for the purposes aforesaid which **Grantee** may in its exclusive discretion and sole judgment deem necessary or proper.

**THE GRANTOR** further conveys unto the Grantee the right to grant permission to owner(s), or operator(s) or contractor(s) representing utility authorities or utility companies or utility providers, to permanently install and /or relocate utilities and appurtenances into the permanent easements acquired by the County as related to the County's construction, maintenance or repair of County facilities including, but not limited to, storm drainage facilities, the road(s), bridge(s), drainage, traffic signal facilities or other related appurtenances. Such utilities shall include, but not be limited to, water, sewer, cable, telephone, gas, electric and/or fiber optic wiring. Such installation and/or relocation includes, but is not necessarily limited to, installation of aerial, underground, or "on ground" service(s).

**GRANTEE** shall at its own cost and expense restore the lands to the condition existing prior to the time of entry or re-entry, except for replacing trees or landscaping. **Grantor** shall have the right to enjoy the use of the surface of the land subject to this easement for any and all purposes that do not interfere with or prevent the use by **Grantee** of the easement; except that **Grantor** shall not construct, place or permit any buildings, fences, pavement or improvements in, under, through, over or across the easement area without

first obtaining written approval of the **Grantee**, given by resolution of the governing body. Grantor is responsible for removing and/or replacing any signs currently within the easement areas at its own expense.

THE EASEMENT agreements, conditions, covenants and promises herein contained are intended to be covenants running with the land. The easement shall endure perpetually and shall be binding upon the heirs, executors, administrators, personal and legal representatives, successors in interest, licensees and assigns of the respective parties.

THE WORD "**Grantor**" as used in this Deed of Easement shall mean any and all persons who lawfully succeed to the rights and responsibilities of the **Grantor**, including but not limited to their heirs, executors, administrators, personal or legal representatives, successors and assigns.

WHEREVER in this easement any party shall be designated or referred to by name or general reference, such designation shall have the same effect as if the words "heirs, executors, administrators, personal or legal representatives, successors and assigns" have been inserted after each and every designation.

**THE EASEMENT rights and privileges granted by this easement are non-exclusive, however, Grantor covenants not to convey any other easements for the area covered by this grant that conflict with the rights granted herein.**

**GRANTEE** shall at all times act so as to safeguard **Grantor's** property. **Grantee** shall perform all work in connection with the rights, privileges and authority herein granted and conveyed in a workmanlike manner and with a minimum inconvenience to the **Grantor**; any damage done to the land or premises of **Grantor** shall be promptly repaired and restored to its condition immediately prior to damage at the sole cost and expense of the **Grantee** proximately causing such damage.

**Grantee** shall indemnify and save harmless the **Grantor**, its officers, employees, servants and agents from all claims, suits or actions of every kind or character made upon or brought against **Grantor**, its officers, employees, servants and agents for or on account of any injuries or damages which shall arise out of, in the course of or in consequence of any willful or negligent act or omission or tortious act or omission of **Grantee**, its employees, agents or subcontractors, in the performance of the said work or by or in the consequence of any negligence in the operations or any improper material or equipment used, or by or on account of any act

or omission of the **Grantee** or its servants, agents or employees. This indemnity shall include attorney's fees and costs and all other expenses incurred in the defense of any suit.

**Grantor** shall indemnify and save harmless the **Grantee**, its officers, employees, servants and agents from all claims, suits or actions of every kind or character made upon or brought against **Grantee**, its officers, employees, servants and agents for or on account of any injuries or damages which shall arise out of, in the course of or in consequence of any willful or negligent act or omission or tortious act or omission of **Grantor**, its employees, agents or subcontractors, regarding the easement. This indemnity shall include attorney's fees and costs and all other expenses incurred in the defense of any suit.

THIS EASEMENT may be terminated by written agreement signed by all owners of record and other successors to the respective interests of the **Grantor** and **Grantee**. **Grantee**, its heirs, successors and assigns may execute and record a release of this easement at any time.

THIS EASEMENT contains the entire agreement between the parties relating to the rights, grants and any obligation assumed. Any modification of this easement must be in writing and must be signed by both parties.

THE PROMISES made in this Deed of Easement are legally binding upon the **Grantor** and all who lawfully succeed to the **Grantor's** rights and responsibilities. These promises can be enforced by the **Grantee** and all future owners of the property.

TO HAVE AND TO HOLD, the said premises hereinbefore expressed to be hereby granted unto and to the use of the **Grantee**, its successors and assigns forever.

IN WITNESS WHEREOF, the **Grantor** signs this Deed of Easement as of the date at the top of the first page.

(SEAL)

Attested by:

\_\_\_\_\_

\_\_\_\_\_  
**Grantor**

\_\_\_\_\_  
**Grantor's Printed Name, Title & Company**

STATE OF NEW JERSEY)

SS.:

COUNTY OF BURLINGTON)

I certify that on \_\_\_\_\_, 20\_\_\_\_, \_\_\_\_\_ personally came before me and acknowledged under oath, to my satisfaction, that:

- (a) they are named in this Deed of Easement;
- (b) the person who is the attesting witness to the signing of this Deed of Easement is

\_\_\_\_\_.

- (c) this Deed of Easement was signed and delivered by (grantor) as their voluntary act;
- (d) he/she signed this proof to attest to the truth of these facts; and
- (e) the full and actual amount to be paid for this Deed of Easement will be \$1.00. (Such consideration is defined in N.J.S.A. 46:15-5.)

\_\_\_\_\_  
Signed and subscribed to

before me this \_\_\_ day

of \_\_\_\_\_, 20\_\_

\_\_\_\_\_

(SEAL)

Attested by:

BOARD OF COUNTY COMMISSIONERS  
OF THE COUNTY OF BURLINGTON,  
Grantee

\_\_\_\_\_  
Erin M. Kelly  
Clerk of the Board

\_\_\_\_\_  
Eve A. Cullinan  
County Administrator

STATE OF NEW JERSEY)

SS.:

COUNTY OF BURLINGTON)

I certify that on \_\_\_\_\_, 20\_\_, Eve A. Cullinan, County Administrator, personally came before me and acknowledged under oath, to my satisfaction, that:

- (a) she is the Administrator, the proper corporate officer of the Corporation named in this Deed of Easement;
- (b) Erin M. Kelly, the Clerk of the Board, is the attesting witness to the signing of the Deed of Easement by Eve A. Cullinan, the Administrator of the County;
- (c) this Deed of Easement was signed by the Corporation as its voluntary act;
- (d) the proper seal of the Corporation is affixed to this Deed of Easement;
- (e) this proof is signed to attest to the truth of these facts; and,
- (f) the full and actual consideration paid or to be paid for the transfer of this Easement is \$1.00. (Such consideration is defined in N.J.S.A. 46:15 5.)

\_\_\_\_\_  
Erin M. Kelly  
Clerk of the Board

Sworn and Subscribed to

before me this \_\_\_ day

of \_\_\_\_\_, 20\_\_.

\_\_\_\_\_

## Traffic Management Plan

### B.C.P.B. #Sxx-xx-xxx – SAMPLE

1. The Owner will incorporate this Traffic Management Plan (TMP) into its initial training and startup planning of the facility's management team.
2. The Owner shall provide the Burlington County Engineer with contact information for the Owner's designated representative who is responsible for the TMP, who shall be a duly authorized, management-level representative of the Owner.
3. Should the Burlington County Engineering Office determine that adverse traffic impacts to \_\_\_\_\_ Road (County Route \_\_\_\_ ) are occurring, and are related to the traffic generated by the facility, the Burlington County Engineer will send written notification to the Owner. Immediately upon receipt of notification of potential issues, the Owner will have a 3rd party traffic consultant conduct traffic counts at the site access(es) of the facility. See Part (4.a.) regarding the traffic data collection requirements and submission.
4. Traffic Data Collection and Observations

- a. Following 90 days of the 80% occupancy of the facility (but not exceeding 120 days), the Owner will have a 3<sup>rd</sup> party traffic consultant conduct traffic counts at the site access of the facility to determine the traffic generation under normal operating conditions. The counts shall include continuous 24 hour counts under normal operating conditions for a minimum period consisting of three (3) weekdays and one (1) weekend.

Within 30 days of the traffic data collection, the data shall be summarized and submitted to the Burlington County Engineer's Office for review and comment. The following minimum items are required as part of the submission package.

- Location and description of facility (address, tenant, square footage, etc.)
- Operating Hours
- Occupancy Levels
- Identify employees' shifts (hours and number of employees)
- Days of data collection
- Trip Generator Summary – passenger cars and trucks
  - Weekday peak hours
  - Weekend peak hours
  - 24-hour summary (weekday and weekend)
- Summary of the volumes and vehicle classification that was used in the Traffic Impact Study (TIS) as referenced in b. and c. below.
- All traffic count data to be provided
- Description of anticipated seasonal activities.

- b. The County will evaluate the traffic data to determine consistency with the passenger car / truck trip generation estimates in the TIS, dated \_\_\_\_\_, and prepared by \_\_\_\_\_, which was approved by the Burlington County Planning Board.
- c. If the County finds as a result of the site's trip generation that (i) the traffic generation is significantly higher than the original projections in the approved \_\_\_\_\_ TIS, (ii) the distribution of entering and existing traffic is significant different than in the TIS, and / or (iii) significant impacts of at a study intersection occurs, then the County will request the traffic consultant to provide mitigation measures.

5. Within 45 days of submission of the traffic data collection (Part 3.a.), the Owner's TMP representative shall meet with the Burlington County Engineering Office to discuss the Owner's plans for the facility operations and to:

- a. Review this TMP plan;
  - b. Discuss any adverse traffic impact on \_\_\_\_\_ Road (County Route \_\_\_) from this facility.
6. If mitigation is found to be necessary, the Owner/Tenant could implement employee shift stagers for the tenant's day and night shifts or discuss a mutually acceptable fair share contribution. The mutually acceptable fair share contribution shall be used for improvements to mitigate the impact of any site trip generation exceedance.
  7. No shuttling of truck/trailers between this site and another property.

Approved:

\_\_\_\_\_  
Joseph T. Brickley, PE  
Burlington County Engineer

SAMPLE



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**Board of County Commissioners  
Burlington County Planning Board  
Adopted April 2024**